

CITY OF GREEN COVE SPRINGS PLANNING & ZONING BOARD MEETING

321 WALNUT STREET, GREEN COVE SPRINGS, FLORIDA
TUESDAY, OCTOBER 26, 2021 – 5:00 PM



AGENDA

GENERAL INFORMATION

ANYONE WISHING TO ADDRESS THE PLANNING AND ZONING BOARD REGARDING ANY TOPIC ON THIS EVENING'S AGENDA IS REQUESTED TO COMPLETE A CARD AVAILABLE AT THE CLERK'S DESK. SPEAKERS ARE RESPECTFULLY REQUESTED TO LIMIT THEIR COMMENTS TO THREE (3) MINUTES.

THE PLANNING AND ZONING BOARD PROHIBITS THE USE OF CELL PHONES AND PAGES WHICH EMIT AN AUDIBLE SOUND DURING ALL MEETINGS WITH THE EXCEPTION OF LAW ENFORCEMENT, FIRE AND RESCUE, OR HEALTH CARE PROFESSIONALS ON CALL. PERSONS IN VIOLATION WILL BE REQUESTED TO LEAVE THE MEETING.

THIS WILL BE AN IN-PERSON MEETING. PLEASE FOLLOW SOCIAL DISTANCING PROTOCOLS

ROLL CALL

APPROVAL OF MINUTES

1. Review and approval of the minutes for the September 28, 2021 meeting.

PUBLIC HEARINGS

2. Future Land Use Amendment from Commercial High Intensity and Institutional to Central Business District (CBD) and a Rezoning request from Gateway Corridor Commercial to CBD for approximately 1.23 acres for property located at 310 S. Orange Avenue

ACTION ITEMS

3. Review of Site Development application for The Vineyard Transitional Center located at 518 N Pine Ave

BOARD BUSINESS

BOARD DISCUSSION / COMMENTS

STAFF COMMENTS

ADJOURNMENT

NEXT MEETING: TUESDAY, NOVEMBER 30, 2021 AT 5:00PM (TENTATIVE, TO BE FINALIZED AT 10/26/21 MEETING)

Minutes of the Planning & Zoning Board Meeting can be obtained from the City Clerk's office. The Minutes are recorded, but are not transcribed verbatim.

Persons requiring a verbatim transcript may make arrangements with the City Clerk to duplicate the recordings, or arrange to have a court reporter present at the meeting. The cost of duplication and/or court reporter will be at the expense of the requesting party.

ADA NOTICE

In accordance with Section 286.26, Florida Statutes, persons with disabilities needing special accommodations to participate in this meeting should contact the City Clerk's office no later than 5:00 p.m. on the day prior to the meeting.

EXPARTE COMMUNICATIONS

Oral or written exchanges (sometimes referred to as lobbying or information gathering) between a Special Magistrate and others, including staff, where there is a substantive discussion regarding a quasi-judicial decision by the Special Magistrate. The exchanges must be disclosed by the Special Magistrate

CITY OF GREEN COVE SPRINGS PLANNING & ZONING BOARD MEETING

321 WALNUT STREET, GREEN COVE SPRINGS, FLORIDA
TUESDAY, SEPTEMBER 28, 2021 – 5:00 PM



MINUTES

ROLL CALL

The meeting was called to order by Chairman Francis at 5:00 p.m.

PRESENT

Chairman Henrietta Francis
Board Member Brian Cook
Board Member Justin Hall
Board Member Richard Hobbs

ABSENT

Vice Chair Gary Luke

Chairman Francis called for a moment of silence to honor Chief of Police, Derek Asdot.

APPROVAL OF MINUTES

1. *Review and approval of the meeting minutes for August 24, 2021.*

Motion to approve the minutes of the August 24, 2021 meeting.

Motion made by Board Member Hall, **Seconded** by Board Member Hobbs. **Voting Yea:** Chairman Francis, Board Member Cook, Board Member Hall, Board Member Hobbs.

Motion passes 4-0.

PUBLIC HEARINGS

2. *Review of a Future Land Use and Zoning Amendment for property located at 518 Pine Avenue for approximately .433 acres.*

Future Land Use Amendment:

from: Commercial High Intensity

to: Institutional

Zoning Amendment:

from: C-2, General Commercial

to: Institutional

Mr. Daniels proposed presenting the future land use amendment, rezoning, and special exception all at once, though each would require a separate vote. Chairman Francis agreed. Mr. Daniels presented the three applications.

Based on the information presented, staff recommends approval of the future land use and rezoning, as well as the special exception subject to the conditions in the staff report.

City Attorney Arnold inquired about the process of changing the responsible party without changing the business running the center, which would require Planning & Zoning Board Approval of the new Responsible Party. Board Member Cook inquired about changing properties to institutional when they are within residential / commercial areas, which is not abnormal with Green Cove Springs.

Chairman Francis opened the public hearing.

John Sanders, 1794 Covington Ln (Fleming Island), representing the applicant team, informed the Board his group has been working on The Vineyard for approximately three years in order to help people. He explained the vision to the Board as well as the partnerships planned for the project with other groups such as Habitat for Humanity as well as official entities such as the Sheriff's Office.

Board Member Cook asked whether funding is in place - it is in place, but it is also an ongoing piece. He then asked about whether the stays were 90 days and if there would be on-site programs for the residents. Mr. Sanders explained all residents would be required to go through the Vineyard program, and all residents will be screened prior to acceptance. 90 days is the maximum stay and their time there will be maximized.

Chairman Francis asked what facilities would be located in the suite. There will be a bedroom and bathroom provided. To start, individuals will be taken in, but families are not prohibited.

Joseph Smith, 1817 Hard Pine Dr (Middleburg), representing the applicant team, explained the concept for the rooms.

Russell McNair, 522 N Pine Ave (north of Vineyard), explained to the Board that the street sign says Pine Street, which he was uncertain if it would cause confusion when this project moves forward. The City street light in front of the Vineyard goes out sometimes and needs to be fixed. Otherwise, he thinks the project is going in a good direction.

Chairman Francis closed the public hearing.

Board Member Cook asked Mr. Kennedy if he envisioned any city resources being required for this project, from a policing perspective or otherwise. He indicated he does not have any concerns based on his and staff's interactions with the applicants and the plans being put in place.

David Jackson, 9751 Chesterfield Dr, representing the applicant team, acknowledged the concerns presented by the Board and explained they intend to instill accountability in residents of their facility.

Chairman Francis called for a motion. Board Member Hall voiced his support for the proposed project.

Motion to recommend to City Council the approval of Ordinance O-17-2021, to amend the Future Land Use of the property described therein from Commercial High Intensity to Institutional.

Motion made by Board Member Hall, **Seconded** by Board Member Cook. **Voting Yea:** Chairman Francis, Board Member Cook, Board Member Hall, Board Member Hobbs

Motion passes 4-0.

Chairman Francis opened the public hearing for the zoning.

Upon receiving no comments, Chairman Francis closed the public hearing.

Motion to recommend to City Council approval of Ordinance O-18-2021, to amend the Zoning of the property described therein from C-2 General Commercial to Institutional.

Motion made by Board Member Hall, **Seconded** by Board Member Hobbs. **Voting Yea:** Chairman Francis, Board Member Cook, Board Member Hall, Board Member Hobbs

Motion passes 4-0.

3. ***Special Exception Request for the Development an Emergency Shelter on property located at 518 N Pine Avenue***

Chairman Francis opened the public hearing for the special exception.

Upon receiving no comments, Chairman Francis closed the public hearing.

Motion to approve SE-21-001, to permit a Special Exception for an Emergency Shelter as defined by Section 101-5 and regulated by Sec. 117-796 subject to the conditions provided in the Staff Report.

Motion made by Board Member Hall, **Seconded** by Board Member Cook. **Voting Yea:** Chairman Francis, Board Member Cook, Board Member Hall, Board Member Hobbs

Motion passes 4-0.

BOARD BUSINESS

4. ***Potential Development Moratorium Discussion***

Mr. Daniels presented the concept to the Board.

Kelly Hartwig, 3418 Wall Rd, informed the Board he has been told his current project will be grandfathered and if new development is targeted, he understands, but would not understand if tenants are prohibited from occupying existing vacant spaces.

Chairman Francis called Mr. Kennedy to speak. Mr. Kennedy explained the intention of the discussion.

Board Member Hall indicated a preference to focus on US 17 if a moratorium is implemented.

Board Member Cook commended Mr. Daniels on his presentation at City Council on the 26th. Board Member Cook had the following questions:

- What's in progress that would be impacted?

Mr. Daniels answered that it depends on how a moratorium is being deployed - if it is use specific, it is probably not a good idea to do a moratorium, and it would only affect those uses. If it is from a form perspective, it may impact projects currently in progress because design standards need to be written, particularly if the moratorium is stopping projects at building permit stage. How strict a moratorium is or isn't could help or hurt us.

- What's the timeline on the comprehensive plan?

We'll have another draft at a joint meeting in late October, send it to the state in December, and have it back in February from the state for amendment and then adoption.

Board Member Cook felt there are benefits to waiting until the comprehensive plan is completed, especially considering how the timeline works out. Board Member Hall expressed support for trusting the process and if there is anything heavy-hitting that needs to be addressed, to address that specific item. He added it doesn't seem we can get through a moratorium fast enough for it to matter. Focusing on the known issues – parking, parks, and US 17 – would be the most beneficial plan.

Board Member Cook explained he would support a moratorium if there is a lot of lag between implementing the comprehensive plan and effectively planning the downtown area and corridor. Taking additional time to do a master plan may call for a moratorium to ensure consistency. He would suggest, then, a moratorium for certain key areas and certain key uses.

Mr. Kennedy indicated we are trying to create an environment that is inviting to developers. A moratorium is intended to limit development. He added that the concern presented at the joint meeting was about a specific use in a specific location, to which staff provided the moratorium concept as one potential solution.

Board Member Hall suggested prioritizing the most important thing per City Council for the next two months until the comprehensive plan is done and then we can focus on the master plans.

Board Member Hobbs and Chairman Francis explained they are not in support of moratoriums, particularly at the stage we are at with our planning process.

Chairman Francis suggested trying other tools in the tool box before a moratorium, and the Board agreed that would be a good path forward.

BOARD DISCUSSION / COMMENTS

Mr. Kennedy and Board Member Cook discussed with St. Augustine what's required to implement a mooring field. They were put in touch with an engineering firm. Mr. Kennedy has reached out and also discussed it with the mayor. Since the St. John's River is one of the biggest assets Green Cove has, one suggestion Mr. Kennedy received was to have a riverfront asset study to see what the City has and to see what we could build on. He asked for a little extra information, and in the interim, he spoke with the City Manager over there about how they did their parking deck. The City Manager there and others would be happy to come over and sit down with us to discuss what we want to do ahead of the City getting too far into a project.

Board Member Cook mentioned there is very little about the riverfront in the comprehensive plan.

Chairman Francis requested Jim Fossa from the School Board come address the board to provide an update on growth in the surrounding area.

STAFF COMMENTS

Mr. Daniels updated the Board on the Walnut Street project and informed the Board three bids were received on the parking study.

ADJOURNMENT

The meeting was adjourned at 6:45pm.

CITY OF GREEN COVE SPRINGS, FLORIDA

Henrietta Francis, Chairman

Attest:

Heather Glisson, Planning & Zoning Clerk



STAFF REPORT

CITY OF GREEN COVE SPRINGS, FLORIDA

TO: Planning & Zoning Commission **MEETING DATE:** October 26, 2021
FROM: Michael Daniels, AICP, Planning & Zoning Director
SUBJECT: Future Land Use Amendment from Commercial High Intensity and Institutional to Central Business District (CBD) and a Rezoning request from Gateway Corridor Commercial to CBD for approximately 1.23 acres for property located at 310 S. Orange Avenue

PROPERTY DESCRIPTION

APPLICANT: Kelly Hartwig, Cypress Management and Design **OWNER:** Brian and Jennifer Knight
PROPERTY LOCATION: 310 S Orange Ave
PARCEL NUMBERS: 017310-000-00, 017311-000-000, 17312-000-000, 17313-000-00
FILE NUMBER: FLUS-21-0005 & ZON-21-0005
CURRENT ZONING: GCC – Gateway Corridor Commercial
CURRENT FUTURE LAND USE DESIGNATION: CHI – Commercial High Intensity & INS -- Institutional

SURROUNDING LAND USE

NORTH: FLU: CBD Z: CBD Use: Retail	SOUTH: FLU: CHI Z: GCC/INS Use: Undeveloped
EAST: FLU: Residential Riverfront (RRF) Z: RRF-PUD Use: Undeveloped	WEST: FLU: CHI Z: GCC Use: Retail

BACKGROUND

The applicant has applied for a Future Land Use and Zoning Change for the subject property for the construction of a mixed-use retail and residential development.

PROPERTY DESCRIPTION

The property abuts the existing Central Business District and is just south of the Dollar Tree Plaza site, which is preparing to redevelop with proposed outparcels along Orange Avenue.

The applicant has provided a conceptual site plan and floor plan for review.

The property, 310 S Orange Ave, is currently undeveloped with a handicapped space and a gravel parking area in the northwest corner of the site. The remainder of the property is heavily wooded with a combination of oak, palm and camphor trees. The site has approximately 5 feet of fall and slopes from west to east with the high point of the site being in the northwest corner of the property and the low point at the southeast corner of the property.

Figure 1. Existing Structure (Google Streetview, Oct. 2019)



Figure 2. Aerial Map

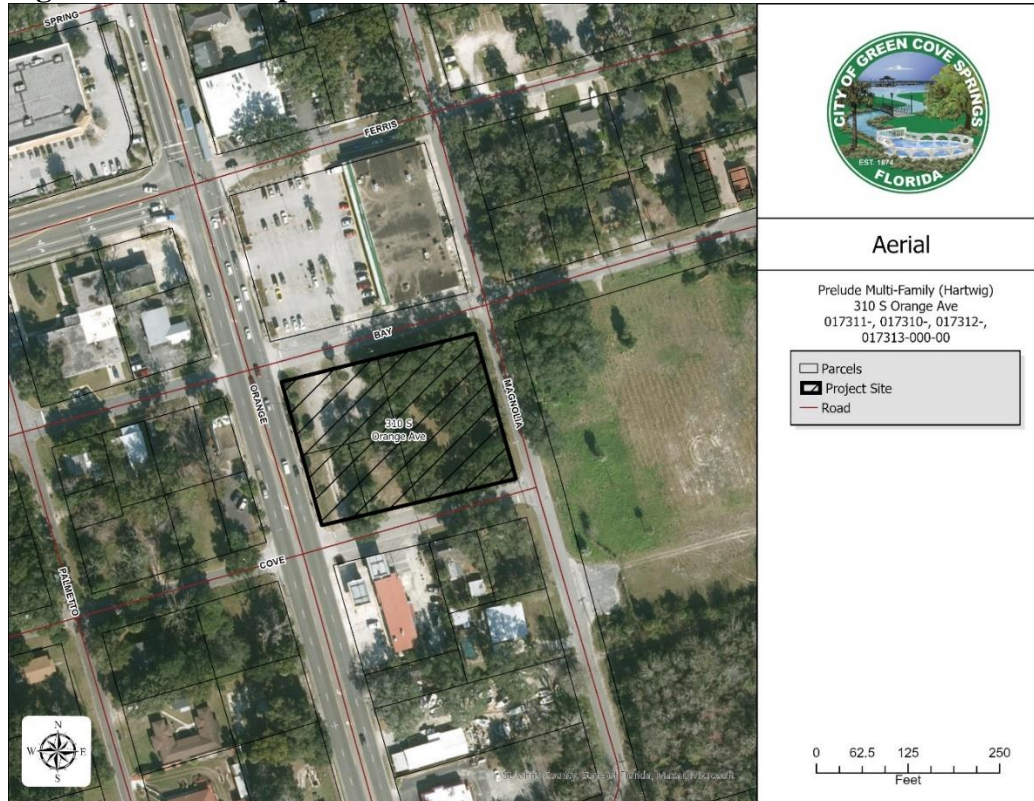


Table 1. FLUM Designation Comparison

	Existing	Proposed
FLUM District	Commercial High Intensity (CHI)	Central Business District (CBD)
Max. Floor Area Ratio	0.40	2.0
Typical Uses	Commercial uses, such as hotels, motels, automobile sales, service and repair, housing above businesses, churches and others	Retail and service establishments consistent with the redevelopment of the downtown area.

NEEDS ANALYSIS

Per Chapter 163.3177, Florida Statutes, need shall be based upon the amount of land designated for future uses and shall:

- 1) Provide a balance of uses that foster vibrant, viable communities and economic opportunities and address outdated development patterns, such as antiquated subdivisions; and,
- 2) Allow the operation of real estate markets to provide adequate choices for residents and business, with the amount of land designated for future use not limited solely by the projected population. The minimum amount of land use required to accommodate at least a 10-year planning period must be included in the comprehensive plan.

Comment: City Council has expressed interest in growing the downtown area and providing additional opportunities for businesses therein. Amending the land use of this property will increase opportunities for new businesses to set up within Green Cove Springs Downtown, revitalize the property with proposed redevelopment, as well as update the development pattern. This request supports growing demand for commercial space and will increase the variety of spaces available.

URBAN SPRAWL ANALYSIS

Section 163.3177, Florida Statutes, requires that any amendment to the Future Land Use Element to discourage the proliferation of urban sprawl. Section 163.3177(6)(a)9.a., Florida Statutes, identifies 13 primary urban sprawl indicators and states that, “[t]he evaluation of the presence of these indicators shall consist of an analysis of the plan or plan amendment within the context of features and characteristics unique to each locality...”

An evaluation of each primary indicator is provided below.

(I) Promotes, allows, or designates for development substantial areas of the jurisdiction to develop as low-intensity, low-density, or single-use development or uses.

Evaluation & Findings: The proposed amendment will revise the FLUM designation from CHI to CBD. This will allow for higher density of development and a more urban type of development in the core area of the City that has a high demand for additional mixed use development.

(II) Promotes, allows, or designates significant amounts of urban development to occur in rural areas at substantial distances from existing urban areas while not using undeveloped lands that are available and suitable for development.

Evaluation & Findings: The project site is located within the urban core area of Green Cove Springs and adds to the existing development in the area which is suitable for development thereby reducing development pressure in rural and unincorporated areas.

(III) Promotes, allows, or designates urban development in radial, strip, isolated, or ribbon patterns generally emanating from existing urban developments.

Evaluation & Findings: The proposed CBD Future Land Use designation allows for a mixed use development pattern that would help to break up the strip commercial development pattern.

(IV) Fails to adequately protect and conserve natural resources, such as wetlands, floodplains, native vegetation, environmentally sensitive areas, natural groundwater aquifer recharge areas, lakes, rivers, shorelines, beaches, bays, estuarine systems, and other significant natural systems.

Evaluation & Findings: The site is not located within a floodplain and does not have significant native vegetation, environmentally sensitive areas, natural groundwater aquifer recharge areas, lakes, shorelines, beaches, bays, estuarine systems, and other significant natural systems.

(V) Fails to adequately protect adjacent agricultural areas and activities, including silviculture, active agricultural and silvicultural activities, passive agricultural activities, and dormant, unique, and prime farmlands and soils.

Evaluation & Findings: The project site is located within an urban area with surrounding commercial development. There are no adjacent agricultural areas and activities.

(VI) Fails to maximize use of existing public facilities and services.

Evaluation & Findings: With the project site being located within an area with existing development, the proposed development will utilize existing public facilities and services.

(VII) Fails to maximize use of future public facilities and services.

Evaluation & Findings: Any future improvements to the City’s public facilities and services will be utilized by the project site.

(VIII) Allows for land use patterns or timing which disproportionately increase the cost in time, money, and energy of providing and maintaining facilities and services, including roads, potable water, sanitary sewer, stormwater management, law enforcement, education, health care, fire and emergency response, and general government.

Evaluation & Findings: The project site is located within an existing commercial area with existing public facilities and services. The proposed development will utilize existing public facilities and services and will not increase the time, money, and energy for providing and maintaining these facilities.

(IX) Fails to provide a clear separation between rural and urban uses.

Evaluation & Findings: The site is located within an urban area and is not adjacent to any rural zoned properties.

(X) Discourages or inhibits infill development or the redevelopment of existing neighborhoods and communities.

Evaluation & Findings: The proposed application will allow infill development on an undeveloped site.

(XI) Fails to encourage a functional mix of uses.

Evaluation & Findings: The project site is located within an existing commercial area and will allow for a mix of commercial uses with residential on the second and third floors.

(XII) Results in poor accessibility among linked or related land uses.

Evaluation & Findings: The project site will have access to Bay, Magnolia and Cove Street, thereby allowing for access to occur on a lower order street which would facilitate safer access than adding an access point onto US 17.

(XIII) Results in the loss of significant amounts of functional open space.

Evaluation & Findings: Additional proposed development will not reduce functional open space.

In addition to the preceding urban sprawl indicators, Florida Statutes Section 163.3177 also establishes eight (8) "Urban Form" criteria. An amendment to the Future Land Use Map is presumed to not be considered urban sprawl if it meets four (4) of the (8) urban form criteria. These urban form criteria, and an evaluation of each as each may relate to this application, are provided below. The applicant has provided an analysis of the application's consistency with Section 163.3177 within the application materials, and contends that the proposed amendment will not encourage urban sprawl by showing it meets four of the eight urban form criteria.

1. Directs or locates economic growth and associated land development to geographic areas of the community in a manner that does not have an adverse impact on and protects natural resources and ecosystems.

Evaluation & Findings: The project site is located within existing commercial development where development will occur in developed areas as opposed to undeveloped areas. The proposed development directs the growth within the urban area.

2. Promotes the efficient and cost-effective provision or extension of public infrastructure and services.

Evaluation & Findings: This application, as well as the companion rezoning application, will result in a higher density commercial development utilizing existing public infrastructure and existing services.

3. Promotes walkable and connected communities and provides for compact development and a mix of uses at densities and intensities that will support a range of housing choices and a multimodal transportation system, including pedestrian, bicycle, and transit, if available.

Evaluation & Findings: This application and the companion rezoning application will allow for higher density commercial development, allowing for a more urban type of development in the downtown area. It will increase the walkability of the downtown area through redesign of the sidewalk and landscaping, as well as through active building edges along Orange Avenue, which will increase safety and vibrancy of the area.

4. Promotes conservation of water and energy.

Evaluation & Findings: The project site is located within an urban area with surrounding commercial development. Development in core urban areas reduces the pressure to develop in areas further outside of the urban areas.

5. Preserves agricultural areas and activities, including silviculture, and dormant, unique, and prime farmlands and soils.

Evaluation & Findings: The project site is located within an urban area with surrounding development. There are no adjacent agricultural areas and activities. Development in core urban areas reduces the pressure to develop in agricultural areas.

6. Preserves open space and natural lands and provides for public open space and recreation needs.

Evaluation & Findings: N/A

7. Creates a balance of land uses based upon demands of the residential population for the nonresidential needs of an area.

Evaluation & Findings: The proposed site is located within close proximity to a variety of nonresidential uses. The proposed development will bring new businesses into this mixed-use, urban area, providing a balance of land uses to the area.

8. Provides uses, densities, and intensities of use and urban form that would remediate an existing or planned development pattern in the vicinity that constitutes sprawl or if it provides for an innovative development pattern such as transit-oriented developments or new towns as defined in s. 163.3164.

Evaluation & Findings: N/A

CONSISTENCY WITH THE COMPREHENSIVE PLAN

The following Goals, Objectives, and Policies (GOPs) support the proposed amendment to the Future Land Use Map of the City of Green Cove Springs Comprehensive Plan:

FUTURE LAND USE ELEMENT

Goal 1: To develop and maintain land use programs and activities to provide for the most appropriate use of the land and direct growth to suitable areas while protecting the public, health, safety and welfare.

Policy 1.3.3: The City shall allow mixed use developments to support redevelopment efforts and shall add Mixed Use categories to the Future Land Use Map.

Policy 1.3.4: To promote redevelopment, the City shall allow higher densities and structures up to five (5) stories high in appropriate areas.

TRANSPORTATION ELEMENT

Objective 2.8 Site Development Traffic Circulation: The City shall require that all major developments and planned unit developments provide a circulation system which: provides adequate access to the major roadway network; provides for sound design of local and collector streets within such development.

SANITARY SEWER, SOLID WASTE, DRAINAGE, POTABLE WATER, AND AQUIFER RECHARGE ELEMENT

Objective 4.6: Future development shall be required to connect with central sewer and water systems and provide drainage facilities which maximize the use of existing facilities and discourage urban sprawl.

Table 2. Zoning District Comparison

	Gateway Corridor Commercial	Central Business District
Front Setback	10 feet	Continuity of Front Alignment
Rear Setback	10 feet	None
Side Setback	10 feet	None

Max. Structure Height	54 feet; up to 70 feet with tiering	Conform to density of adjacent structures
Maximum # of Stories	4	Same as above.
Parking Requirement	1/333 sqft of non-storage floor area	Adhere to Sec. 113-157 or alternatively comply per Sec. 117-447(b) .

PUBLIC FACILITIES IMPACT

Traffic Impacts

Land Use ¹ (ITE)	Maximum Square Feet	Daily		AM Peak		PM Peak	
		Rate	Trips	Rate	Trips	Rate	Trips
Maximum Development Potential Based on Existing FLU							
Shopping Center (820)	21,400	42.94	919	.96	20	3.37	72
Land Use ¹ (ITE)	Units	Daily		AM Peak		PM Peak	
		Rate	Trips	Rate	Trips	Rate	Trips
Proposed							
Shopping Center (820)	107,157 sf	42.94	7,851	.96	102	3.37	361
Total	-	-					

1. Source: Institute of Transportation Engineers: Trip Generation Manual 9th Edition

Conclusion: The applicant has submitted a draft methodology which is enclosed for a mixed use development consisting of 42 multifamily units, 8,074 square feet of retail space and 7,181 square feet for an alcoholic beverage establishment which is projected to generate 258 Peak hour trips.

Potable Water Impacts - Residential

System Category	Gallons Per Day (GPD)
Current Permitted Capacity ¹	4,032,000
Less actual Potable Water Flows ¹	1,029,000
Residual Capacity ¹	3,003,000
Projected Potable Water Demand from Proposed Project ²	15,750
Residual Capacity after Proposed Project	2,987,250

1. Source: City of Green Cove Springs Public Works Department

2. Source: City of Green Cove Springs Comprehensive Plan. Formula Used: 42 units x 2.5 persons per unit x 150 gal per person

Sanitary Sewer Impacts – Harbor Road WWTP - Residential

System Category	Gallons Per Day (GPD)
Current Permitted Capacity ¹	650,000
Current Loading ¹	516,000
Committed Loading ¹	92,000
Residual Capacity ¹	42,000
Percentage of Permitted Design Capacity Utilized ¹	93%
Projected Potable Water Demand from Proposed Project ²	12,600
Residual Capacity after Proposed Project	29,400

1. Source: City of Green Cove Springs Public Works Department August 2021 Report to Council
 2. Source: City of Green Cove Springs Comprehensive Plan. Formula Used: 42 units x 2.5 persons per unit x 120 gal per person

Potable Water & Sewer Impacts - Commercial

Water and Sewer impact would be determined by staff at the time development plans are brought forth, as impact for commercial development is based on usage, which is more difficult to estimate than it is for residential development, where there is an average per person to use for calculations.

Conclusion: The City of Green Cove Springs has available capacity to meet demands from new development and does not anticipate this proposed future land use amendment or rezoning will exceed the City’s adopted LOS or permitted capacity.

Solid Waste Impacts

The City of Green Cove Springs’ solid waste is disposed of at the Rosemary Hill Solid Waste Management Facility operated by Clay County. Per the Clay County Comprehensive Plan, a minimum of three (3) years capacity shall be maintained at the County’s solid waste management facility. For commercial / apartment developments, the City does not provide Curbside Service; commercial locations must instead contract with an approved franchisee for containerized collection.

Conclusion: The proposed future land use amendment and rezoning are not expected to negatively impact the City’s adopted LOS or exceed the County solid waste management facility’s capacity.

Public School Facilities Impact

Land Use	Units	Elem.		Middle		High	
		Rate ¹	Total	Rate ¹	Total	Rate ¹	Total
Proposed							
Multifamily Units	44	0.0314	2	0.0095	1	0.0197	1
Net Generation	-	-	2	-	1	-	1

1. Source: School District of Clay County, Educational Facilities Plan, FY 2020/21-2024/25, based on multifamily

Conclusion: The School District of Clay County will make a school capacity determination at the time of Final Site Development Plan. It is not anticipated that the estimated number of students generated by the proposed development will exceed the adopted LOS standards.

STAFF COMMENTS

Redeveloping the property in conformance with the requirements of the Central Business District will be an opportunity to improve the built environment and provide greater intensity in the downtown core. The proposed project is a mixed-use development which is consistent with some of the key objectives identified in the proposed update to the Comprehensive Plan

The project will be required to comply with the requirements of the Land Development Regulations. Some of the key issues of concerns are:

- Parking requirements in Sec. 113-157 or provide an alternative method of compliance pursuant to Sec. 117-447(b). Parking for the project shall be provided to accommodate all of the proposed development and shall not degrade the public parking currently available for Spring Park and other downtown uses.
- Address infrastructure connectivity and capacity for water, sewer, stormwater, electric lines etc.
- Execution of a traffic study to ensure that all roadways comply with the adopted Level of Service requirements for roadways and intersections.
- Compliance with the City’s Landscape and Tree Preservation requirements.
- Erosion control and staging plan during development.

Attachments include:

1. Conceptual Plan
2. City Code Parking Requirements, Sec. 113-157
3. City Code CBD Alternative Parking Compliance, Sec. 117-447
4. City Code Sec. 113-244
5. City Code Sec. 113-275
6. Ordinance O-20-2021
7. Ordinance O-21-2021
8. Draft Traffic Methodology
9. Draft Parking Study
10. FLUM Application
11. Rezoning Application

STAFF RECOMMENDATION

Staff recommends approval of the future land use amendment and rezoning based on the factual support documentation provided in the staff report.

RECOMMENDED MOTIONS:

Future Land Use Amendment

Motion to recommend to City Council the approval of Ordinance O-20-2021, to amend the Future Land Use of the property described therein from Commercial High Intensity and Institutional to Central Business District.

Rezoning

Motion to recommend to City Council the approval of Ordinance O-21-2021, to amend the Zoning of the property described therein from Gateway Corridor Commercial to Central Business District.

GENERAL NOTES

- ALL WORK AND MATERIALS SHALL BE IN COMPLETE ACCORDANCE WITH ALL RELATIVE SECTIONS OF CITY STANDARDS, (LATEST REVISION) AND ALL CURRENT CITY STANDARD DETAILS.
- ALL WORK SHALL BE PERFORMED IN A SAFE MANNER. ALL SAFETY RULES AND GUIDELINES OF O.S.H.A SHALL BE FOLLOWED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY INJURIES OF HIS EMPLOYEES, AND ANY DAMAGE TO PRIVATE PROPERTY OR PERSONS DURING THE COURSE OF THIS PROJECT. ALL COSTS ASSOCIATED WITH COMPLYING WITH O.S.H.A. REGULATIONS AND THE FLORIDA TRENCH SAFETY ACT MUST BE INCLUDED IN THE CONTRACTORS BID.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE JOB SITE PRIOR TO PREPARING THE BID FOR THE PURPOSE OF FAMILIARIZING HIMSELF WITH THE NATURE AND THE EXTENT OF THE WORK AND LOCAL CONDITIONS, EITHER SURFACE OR SUB-SURFACE, WHICH MAY AFFECT THE WORK TO BE PERFORMED, AND THE EQUIPMENT, LABOR AND MATERIALS REQUIRED. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR OF COMPLETE PERFORMANCE UNDER THIS CONTRACT. THE CONTRACTOR IS ALSO URGED TO TAKE COLOR PHOTOGRAPHS ALONG THE ROUTE OF THE PROJECT TO RECORD EXISTING CONDITIONS PRIOR TO CONSTRUCTION, AND TO CONSTRUCTION OF THE PROJECT.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO EITHER CONDUCT ANY FIELD EXPLORATION OR ACQUIRE ANY GEOTECHNICAL ASSISTANCE REQUIRED TO ESTIMATE THE AMOUNT OF UNSUITABLE MATERIAL THAT WILL REQUIRE REMOVAL AND/OR TO ESTIMATE THE AMOUNT OF OFF SITE BORROW THAT WILL BE REQUIRED.
- ALL IMPROVEMENTS SHOWN ARE TO BE WARRANTED BY THE CONTRACTOR TO THE DEVELOPER AND THE CITY FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY THE OWNER AND THE CITY.
- ELEVATIONS ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.) UNITED STATES COAST AND GEODETIC SURVEY (U.S.C. & G.S.)
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE REQUIRED FOR THE PROJECT.
- THE CONTRACTOR SHALL COORDINATE THE WORK WITHIN CITY OR STATE RIGHT-OF-WAY WITH THE PROPER AGENCIES FOR MAINTENANCE OF TRAFFIC AND METHOD OF CONSTRUCTION AND REPAIR.
- "AS-BUILT" DRAWINGS - AS-BUILTS TO THE CITY AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL REGULATION ARE REQUIRED TO BE SIGNED AND SEALED BY A FLORIDA REGISTERED LAND SURVEYOR THEREFORE, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTRACT WITH A LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA FOR THE PREPARATION, FIELD LOCATIONS, CERTIFICATION, AND SUBMITTAL OF "AS-BUILT" DRAWINGS IN ACCORDANCE WITH CURRENT CITY STANDARDS AND SPECIFICATIONS AND FDEP REGULATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROCESS THE "AS-BUILT" DRAWINGS FOR APPROVAL BY THE ENGINEER.
- THE CONTRACTOR SHALL COORDINATE THEIR CONSTRUCTION WITH ALL OTHER CONTRACTORS. IN THE EVENT OF ANY CONFLICT WHATSOEVER, THE CONTRATOR SHALL NOTIFY THE ENGINEER AND OWNER PRIOR TO PROCEEDING WITH CONSTRUCTION.
- ALL CLEARING AND GRUBBING REQUIRED FOR ALL ROADWAY, UTILITIES, DITCHES, AND BERMS INCLUDED IN THIS PROJECT AND THE CLEARING AND GRUBBING OF ALL RIGHT-OF-WAY OR EASEMENTS SHALL BE CONSIDERED AS PART OF THE PROJECT.
- ALL AREAS SHOWN TO BE FILLED SHALL BE CLEARED AND GRUBBED IN ACCORDANCE WITH CITY STANDARDS AND SHALL BE FILLED WITH CLEAN STRUCTURAL FILL COMPACTED AND TESTED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT.
- CONTACTOR IS RESPONSIBLE FOR PROTECTION OF ALL SURVEY AND PROPERTY MONUMENTS. IF A MONUMENT IS DISTURBED, THE CONTRACTOR SHALL CONTRACT THE SURVEYOR OF RECORD FOR REINSTALLATION OF THE MONUMENT.
- ALL DEBRIS RESULTING FROM ALL SITE WORK ACTIVITIES SHALL BE DISPOSED OF OFF-SITE BY CONTRACTOR.
- ALL EXCESS SUITABLE AND UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR UNLESS DIRECTED OTHERWISE BY THE ENGINEER OR OWNER.
- ALL EXISTING TREES TO REMAIN SHALL BE PRESERVED AND PROTECTED.
- BURNING OF TREES, BRUSH, AND OTHER MATERIAL SHALL BE APPROVED, PERMITTED BY AND COORDINATED WITH THE CITY OF GREEN COVE SPRINGS CITY MANAGER.
- ROADWAY UNDERDRAINS SHALL BE AS REQUIRED ON THE PLANS OR AS MAY BE DETERMINED NECESSARY BE THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF HIGH GROUND WATER CONDITIONS ARE PRESENT DURING THE PREPARTION OF THE ROADWAY SUB-BASE.
- ALL DIMENSIONS ARE TO EDGE OF PAVEMENT UNLESS NOTED OTHERWISE ON PLANS.
- THIS PROPERTY IS SITUATED IN FLOOD ZONE: X

UTILITY CONTRACTOR NOTES

1. THE LOCATION OF ALL EXISTING UTILITIES, STRUCTURES AND IMPROVEMENTS SHOWN ON THE DRAWINGS IS BASED ON LIMITED INFORMATION AND MAY NOT HAVE BEEN VERIFIED. THE LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL NOTIFY RESPECTIVE UTILITY OWNERS COMMENCING ANY CONSTRUCTION. IF THE LOCATIONS SHOWN ARE CONTRARY TO THE ACTUAL LOCATIONS, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF THE DISCREPANCY. THE DISCREPANCY SHOULD BE RESOLVED PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING IN AREAS NEAR EXISTING UTILITIES AND IMPROVEMENTS AND SHALL BE RESPONSIBLE FOR AND SHALL REPAIR OR PAY FOR ALL DAMAGE MADE TO EXISTING UTILITIES OR OTHER IMPROVEMENTS. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL GRADES, INVERTS AND TYPE OF MATERIAL OF EXISTING UTILITIES TO WHICH HE SHALL CONNECT.

2. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS ON ALL MATERIALS TO THE ENGINEER FOR REVIEW AND APPROVAL, AND PRIOR TO PURCHASE OR CONSTRUCTION OF ANY UTILITY PIPE, FITTINGS, APPURTENANCES OR STRUCTURES. 3. UNSUITABLE MATERIALS UNDER WATER, SEWER PIPE, STORM PIPE OR STRUCTURES SHALL BE REMOVED AND REPLACED WITH SELECTED BACKFILL, PROPERLY COMPACTED. 4. ALL UNDERGROUND UTILITIES MUST BE INSTALLED PRIOR TO PREPARATION OF SUBGRADE FOR PAVEMENT. 5. ALL WATER AND SEWER CONSTRUCTION WITHIN THE CITY SHALL BE ACCOMPLISHED BY AN UNDERGROUND UTILITY CONTRACTOR LICENSED UNDER THE PROVISIONS OF CHAPTER 489 FLORIDA STATUTES.

6. ALL WATER LINES CROSSING SANITARY AND STORM SEWER LINES, AS WILL VALVES AND FITTINGS, MUST HAVE MINIMUM 18" VERTICAL SEPARATION. IF THIS CANNOT BE OBTAINED, THE WATER MAIN MUST BE CONSTRUCTED OF DUCTILE IRON PIPE FOR A DISTANCE OF 10' EITHER SIDE OF SANITARY OR STORM SEWER MAIN, OR INSTALL WATER MAIN IN D.I. SLEEVE MIN. LENGTH 20' CENTERED, ENDS OF SLEEVE TO BE GROUT FILLED, IN EITHER CASE, MINIMUM OF 6" OF VERTICAL SEPARATION SHALL BE MAINTAINED. 7. RESTRAINING JOINTS ARE REQUIRED IN ACCORDANCE WITH UTILITY STANDARDS WHERE WATER MAINS ARE TERMINATED AND AT ALL BENDS AND TEES. 8. UNLESS OTHERWISE NOTED, ALL WATER MAIN 2" OR SMALLER SHALL BE SCHEDULE 80 PVC AND N.F.S.P.W. RATED 9. THE CONTRACTOR SHALL OBTAIN ALL PERMITS TO COMPLETE THE CONSTRUCTION.

GENERAL PAVING AND DRAINAGE NOTES

- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE SEEDED AND MULCHED AS PER SPECIFICATIONS. ALL DISTURBED AREAS IN PUBLIC ROW SHALL BE SODDED.
- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
- LOCATION, EXISTENCE OR NON-EXISTENCE OF ANY UTILITY DOES NOT CONSTITUTE RESPONSIBILITY BY THE ENGINEER.
- THE CONTRACTOR SHALL NOTIFY THE UTILITY OWNER PRIOR TO CONSTRUCTION FOR VERIFICATION AND LOCATION OF ANY UTILITY.
- GRADES SHOWN ON PLANS ARE FINISHED GRADES UNLESS OTHERWISE NOTED.
- SHOULD THE SURFACE OR SUB-SURFACE CONDITIONS VARY FROM WHAT IS SHOWN ON THESE PLANS THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- ALL ELEVATIONS AND GRADES REFER TO NATIONAL GEODETIC SURVEY DATUM.
- CARE SHALL BE EXERCISED TO AVOID DAMAGE TO EXISTING ABOVE AND IN-GROUND UTILITIES INCLUDING TELEPHONE, WATER, CABLE, ELECTRIC AND SEWER LINES.
- CONTRACTOR SHALL PROVIDE DRAINAGE AS-BUILT DRAWINGS BY A REGISTERED SURVEYOR TO INCLUDE THE FOLLOWING:
A) SIDE GRADES B) PIPE INVERTS C) DRIVEWAY GRADES
- SOD ALL SIDE SLOPES GREATER THAN 4:1.
- INSTALL CONSTRUCTION SIGNS & EROSION CONTROL MEASURES PRIOR TO CONSTRUCTION.

GENERAL EROSION CONTROL NOTES:

- THESE PLANS INDICATE THE MINIMUM EROSION & SEDIMENT CONTROL MEASURES REQUIRED FOR THIS PROJECT. FOR ADDITIONAL INFORMATION ON SEDIMENT AND EROSION CONTROL REFER TO "THE FLORIDA DEVELOPMENT MANUAL A GUIDE TO SOUND LAND AND WATER MANAGEMENT" FROM THE STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (F.D.E.P.) CHAPTER 6. THE CONTRACTOR SHALL PROVIDE EROSION PROTECTION AND TURBIDITY CONTROL AS REQUIRED TO INSURE CONFORMANCE TO STATE AND FEDERAL WATER QUALITY STANDARDS AND MAY NEED TO INSTALL ADDITIONAL CONTROLS TO CONFORM TO AGENCIES REQUIREMENTS. IF A WATER QUALITY VIOLATION OCCURS, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL DAMAGE AND ALL COSTS WHICH MAY RESULT INCLUDING LEGAL FEES, CONSULTANT FEES, CONSTRUCTION COSTS AND FINES.
- THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE BEST EROSION AND SEDIMENT CONTROL PRACTICES AS OUTLINED IN THE PLANS AND SPECIFICATIONS AND THE FDEP SPECIFICATIONS.
- EROSION AND SEDIMENT CONTROL BARRIERS SHALL BE PLACED ADJACENT TO ALL WETLAND AREAS WHERE THERE IS POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADATION.
- IF DEWATERING CAPACITY REQUIRES A CONSUMPTIVE USE PERMIT (C.U.P.) IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO OBTAIN THE PERMIT THROUGH THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT.
- 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR WILL SUBMIT A "NOTICE OF INTENT" TO THE EPA IN ACCORDANCE WITH NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM RULES AND REGULATIONS, IF REQUIRED. EPA IN ACCORDANCE WITH NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM RULES AND REGULATIONS, IF REQUIRED.
- DURING CONSTRUCTION, ALL CONTRACTORS SHALL BE RESPONSIBLE FOR THE PREVENTION OF DOWNSTREAM/TURBIDITY/SILTATION THROUGH THE USE OF HAY BALES, SCREENS, SILTATION BASINS, CHEMICAL FLOCCULATION AND/OR ANY OTHER SUITABLE MEANS REQUIRED TO MEET FLORIDA STREAM STANDARDS. SEED AND MULCH ALL DISTURBED AREAS, SOD AS REQUIRED TO CONTROL EROSION THROUGH FINAL INSPECTION AND TO PRODUCE A UNIFORM STAND OF GRASS THROUGHOUT.

GENERAL AS-BUILT REQUIREMENTS

- FIVE DAYS BEFORE THE FINAL INSPECTION, 2 SETS OF SIGNED AND SEALED AS-BUILTS AND 1 ELECTRONIC COPY ARE TO BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL. THEY FOLLOWING ARE THE GENERAL AS BUILT REQUIREMENTS:
2. AS-BUILTS SHALL BE SUBMITTED ON THE APPROVED GRADING/DRAINAGE PLAN PROVIDED BY THE ENGINEER OF RECORD FOR THE PROJECT.
3. ALL DRAINAGE STRUCTURES OUTSIDE OF THE ROADWAY SHALL BE LOCATED FROM BACK OF CURB AND THE PROPERTY LINE ADJACENT TO THE STRUCTURE.
4. ALL UNDERDRAIN AND STORM DRAIN LINES SHALL HAVE THE ELEVATIONS, SIZES, SLOPES, AND LENGTHS VERIFIED BOTH INSIDE AND OUTSIDE OF THE ROADWAY.
5. ALL PONDS SHALL BE CROSS-SECTIONED SHOWING THE BOTTOM, MID SLOPE, NORMAL WATER LINE AS DEPICTED BY EXISTING CONDITIONS AND TOP OF BANK.
6. ALL SWALES SHALL BE LOCATED AND CROSS-SECTIONED EVERY 25'. ELEVATIONS ARE TO BE BOTH TOP OF SLOPE AND CENTERLINE.
7. THE ROADWAY SHALL BE CROSS-SECTIONED EVERY 100' AND 50' ON ALL CURVES. THE CROSS SECTIONS SHALL INCLUDE ALL PC'S, PVI'S, PT'S AND CURB RETURNS.
8. ALL CUL-DE-SAC CURBING SHALL BE SURVEYED EVERY 25' AROUND STARTING AT THE BACK OF THE CUL-DE-SAC.
9. A BENCHMARK SHALL BE LOCATED ON EACH SHEET
10. AS-BUILTS SHALL BE SIGNED IN BY THE COMPANY DROPPING THEM OFF. IF REVISIONS ARE REQUIRED, THAT COMPANY WILL BE NOTIFIED TO PICK THEM UP FOR REVISION. ONCE REVISIONS HAVE BEEN MADE, THE DOCUMENTS SHALL BE SIGNED BACK IN.
11. SUBMIT ONE DIGITAL AS-BUILT AS A DGN OR DXF FILE (STANDARD DIGITAL EXCHANGE FORMAT AUTOCAD ETC.) IN CD OR DVD.
12. AS-BUILT MUST BE IN FLORIDA STATE PLANE COORDINATE SYSTEM USING THE NAD 83 DATUM AT A 1: 1 DRAWING SCALE IN US SURVEY FEET

PROJECTED COORDINATE SYSTEM: NAD_1983_STATEPLANE_FLORIDA_EAST_FIPS_9801_FEET
PROJECTION: TRANSVERSE_MERCATOR FALSE_EASTING: 656166.86666667 FALSE_NORTHING: 0.00000000
CENTRAL_MERIDIAN: -81.00000000 SCALE_FACTOR: 0.99994118
LATITUDE_OF_ORIGIN: 24.33333333 LINEAR_UNIT: FOOT_US (0.304801) GEOGRAPHIC_COORDINATE_SYSTEM: GCS_NORTH_AMERICAN_1983
DATUM: D_NORTH_AMERICAN_1983 PRIME_MERIDIAN: 0
STATE_PLANE_COORDINATES FOR AT LEAST TWO BOUNDARY CORNERS OF PROPOSED AS-BUILT DRAWING MUST BE SHOWN. THESE COORDINATES SHALL BE DERIVED FROM FIELD MEASUREMENTS IN CONFORMITY WITH F.S.CHAPTER 472 AND F.A.C. RULE 61G17-6.005(2) WHICH REFERENCES 61G17-6.003(1). FURTHER SUB-SECTIONS IN 61G17-6.003 WHICH APPLY ARE (L),(A),(B) AND (E). SURVEY ACCURATE COORDINATE DATA IS REQUIRED PREMISED UPON THE INTENDED USE (E RESOURCE GRADE DATA IS NOT ACCEPTABLE) THE INTENDED USE OF THESE COORDINATES IS FOR GIS BASE MAPPING PURPOSES.

- ADJOINING/EXISTING STREETS MUST BE CLEARLY SHOWN AND LABELED.
- NO EXTERNAL REFERENCE FILES ATTACHED
- RECORDED SUBDIVISION NAME AS PER PLAT SHALL BE LABELED ON THE AS-BUILT.
- ALL STORM SEWERS, PONDS AND OUTFALL AND STRUCTURES ARE TO BE CLEARLY LABELED.
- THE ENGINEER WILL BE RESPONSIBLE FOR ANY ROTATION AND/OR TRANSLATION, BASE ON THE COORDINATE DATA SUBMITTED.

GENERAL FIRE DEPARTMENT REQUIREMENTS

Call Fire Prevention@ (904) 284-7703 at least Forty Eight hours in advance for all Inspections

Fire protection line shall be install with a license Fire Protection Contractor.

Fire department connection for fire sprinkler system shall not be located on the building and shall be 5' Storz Connection.

The Back Flow Preventor Shall Be Protected from Freezing Weather.

Fire Protection Line shall be installed as per NFPA 24.

All joints accessories to Fire Protection Line shall be thoroughly coated with an Asphalt or other Corrosion retarding material after installation NFPA 24- 10.3.6.2

Notify Fire Prevention for inspection after completion of assembly of Fire Protection Line in trench

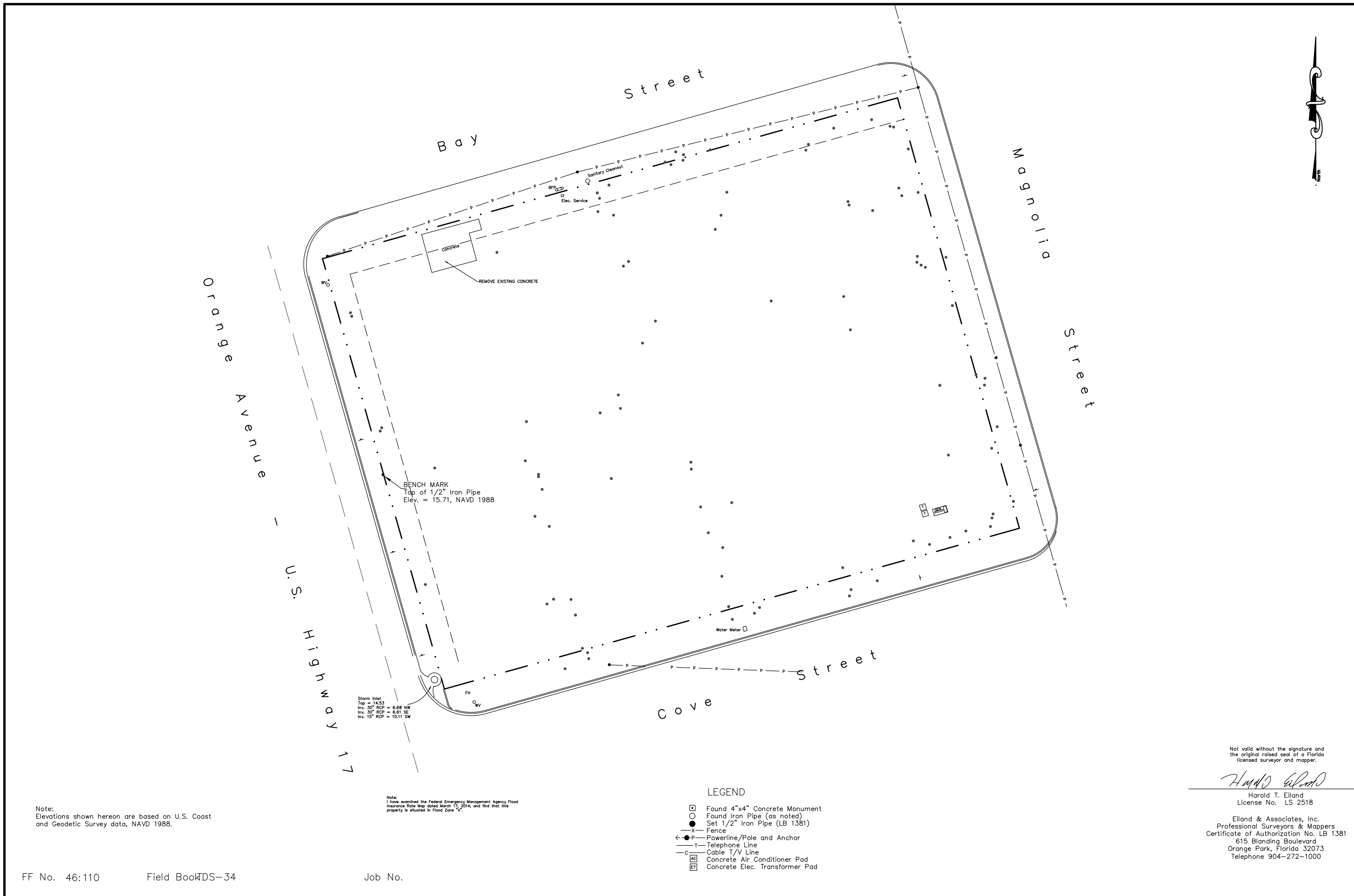
Fire Protection Line installing Contractor shall have Contractors Material and Test Certificate(s) readily available after completion of Fire Protection Line Hydrostatic Test NFPA 24-10.10.2

Fire Prevention shall witness flushing of Fire Protection Line

Clearances of 7½ ft. in front of and to the sides of the fire hydrant and fire protection appliance, and with 4ft. to the rear of the hydrant and fire protection appliance.

Contact Fire Prevention Bureau for permit card.

JOB NO. : 21-011		DATE: 10/05/2021		DRAWN BY : Cdg		CHECKED BY : Cdg		APPROVED BY : Cdg		SCALE : N.T.S.	
PROPOSED MIXED-USE DEVELOPMENT		ORANGE AVENUE, GREEN COVE SPRINGS		CYPRESS MANAGEMENT & DESIGN, INC		GENERAL NOTES		BLACK CREEK ENGINEERING, INC		3900 PASO FINO ROAD GREEN COVE SPRINGS, FLORIDA 32043 PHONE (904) 759-8830	
SHEET		2		Page 18		Item # 2.		COLIN D. GROFF, P.E. REG. NO. 47609		AUTHORIZATION NO. 27946	



Note:
Elevations shown hereon are based on U.S. Coast and Geodetic Survey data, NAVD 1988.

Note:
I have examined the Federal Emergency Management Agency Flood Insurance Rate Map dated March 17, 2014, and find that this property is situated in Flood Zone "X".

- LEGEND**
- Found 4"x4" Concrete Monument
 - Found Iron Pipe (as noted)
 - Set 1/2" Iron Pipe (LB 1381)
 - x- Fence
 - ←-P- Powerline/Pole and Anchor
 - T- Telephone Line
 - C- Cable T/V Line
 - AC Concrete Air Conditioner Pad
 - ET Concrete Elec. Transformer Pad

Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.

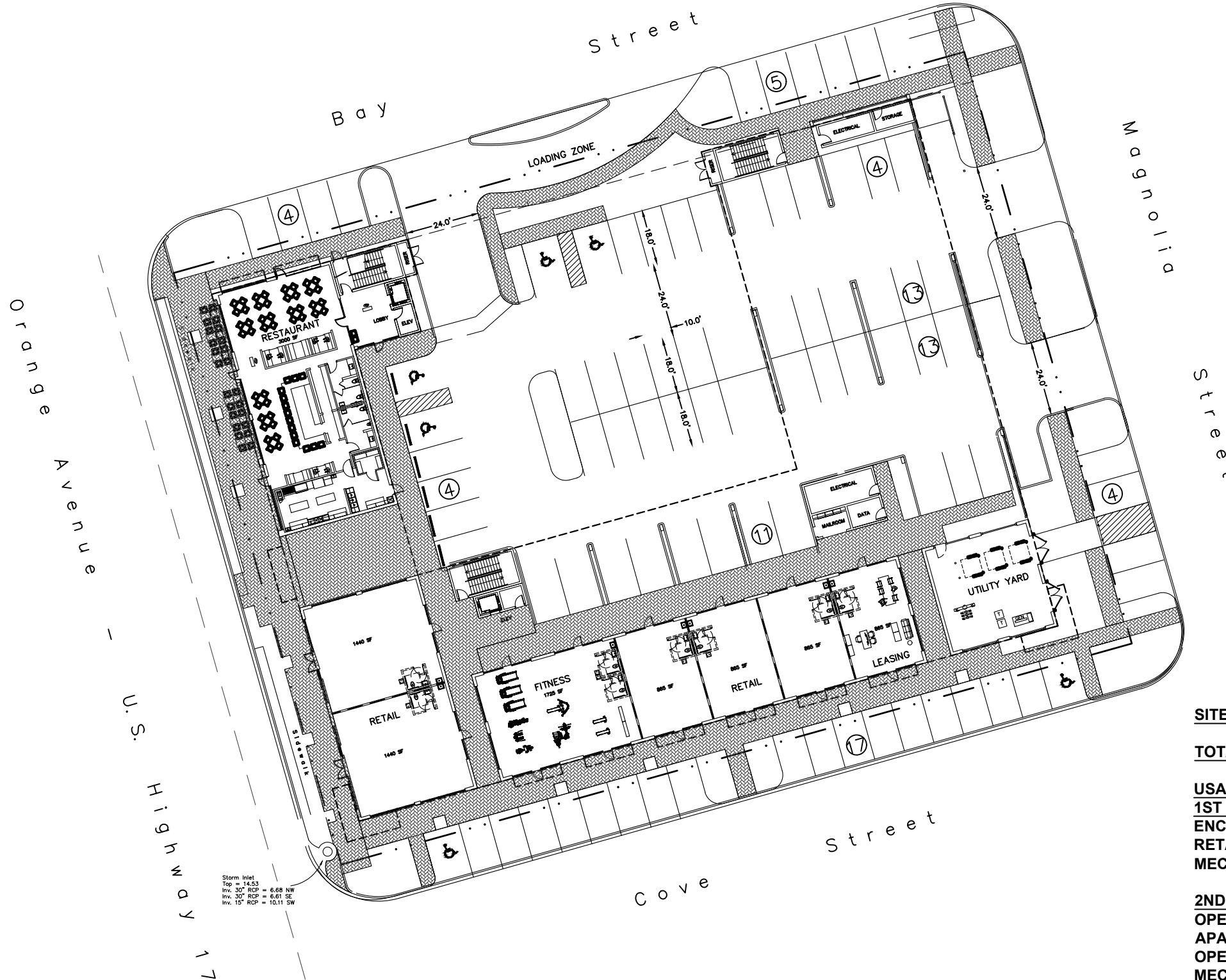
Harold T. Eiland
Harold T. Eiland
License No. LS 2518

Eiland & Associates, Inc.
Professional Surveyors & Mappers
Certificate of Authorization No. LB 1381
615 Blanding Boulevard
Orange Park, Florida 32073
Telephone 904-272-1000

FF No. 46:110 Field Book DS-34 Job No.

Item # 2.	
COLIN D. GROFF, P.E. REG. NO. 47609	
BY	DATE
REVISIONS	
NO.	
BLACK CREEK ENGINEERING, INC. 3900 PASO FINO ROAD, SUITE 32043 GREEN COVE SPRINGS, FLORIDA 32043 PHONE (904) 759-8830 AUTHORIZATION NO. 27946	
PROPOSED MIXED-USE DEVELOPMENT ORANGE AVENUE, GREEN COVE SPRINGS CYPRESS MANAGEMENT & DESIGN, INC. EXISTING CONDITIONS	
JOB NO. : 21-011	DATE: 10/05/2021
DRAWN BY : CdG	CHECKED BY : CdG
APPROVED BY : CdG	SCALE : 1"=40'
SHEET <div style="font-size: 2em; font-weight: bold; display: inline-block;">3</div>	

NOT ISSUED FOR CONSTRUCTION



Storm Inlet
 Top = 14.53
 Inv. 30' RCP = 6.68 NW
 Inv. 30' RCP = 6.61 SE
 Inv. 15' RCP = 10.11 SW

SITE DETAILS;

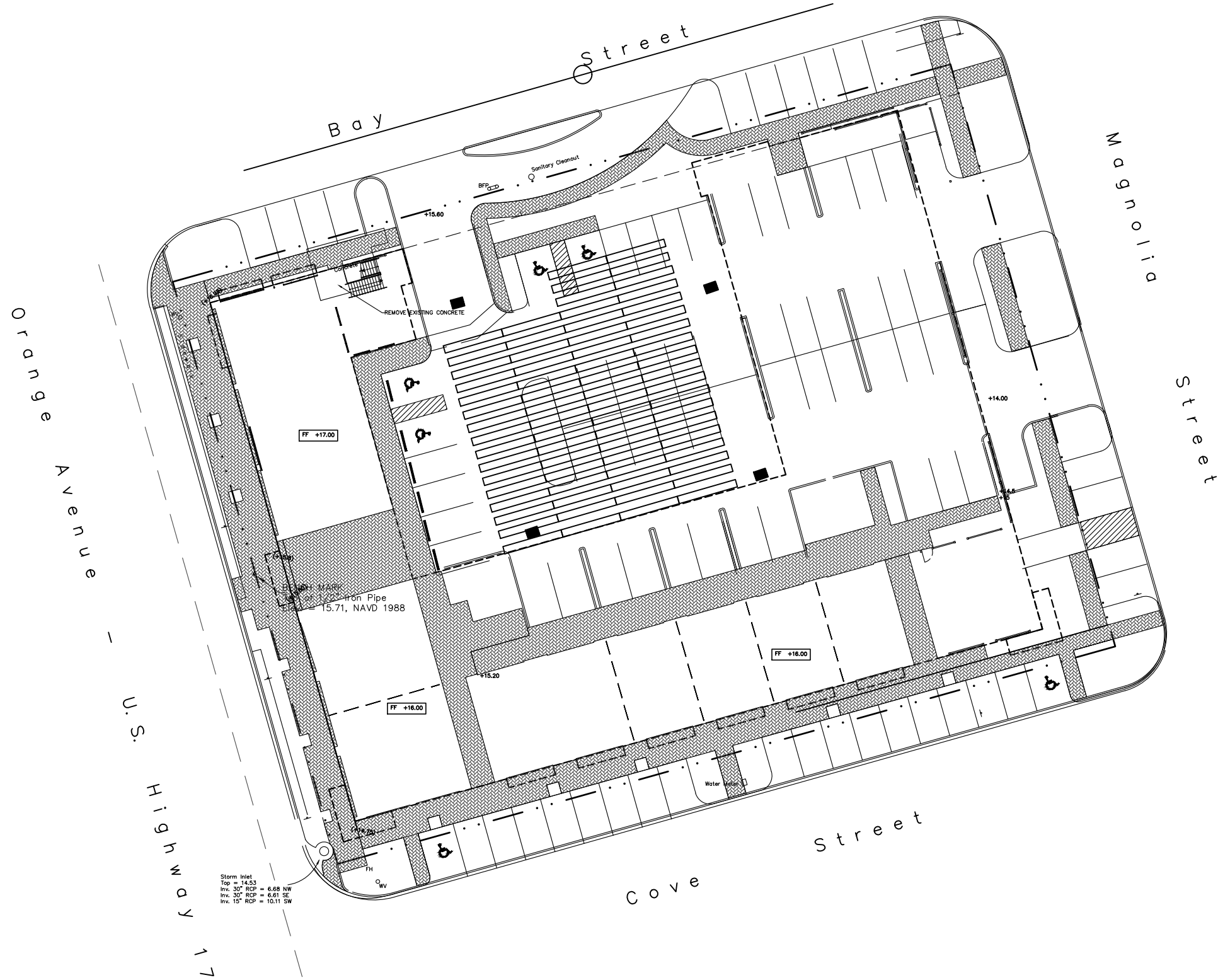
TOTAL AREA OF SITE- 53,540 SF

USABLE SPACE:

1ST FLOOR	
ENCLOSED RESTAURANT	3461 SF
RETAIL-BUSINESS	8064 SF
MECH-SERVICE-ELEV	1,726 SF
2ND FLOOR	
OPEN AIR RESTAURANT/BAR	3,220 SF
APARTMENTS 21 UNITS	18,932 SF
OPEN HALLWAYS	4967 SF
MECH-SERVICE-ELEV	2608 SF
3RD FLOOR	
RESTAURANTS LOFT	500 SF
APARTMENTS 21 UNITS	18,932 SF
OPEN HALLWAYS	4967 SF
MECH-SERVICE-ELEV	2608 SF



JOB NO. : 21-011 DATE: 10/05/2021 DRAWN BY : CdG CHECKED BY : CdG APPROVED BY : CdG SCALE : 1"=40'	PROPOSED MIXED-USE DEVELOPMENT ORANGE AVENUE, GREEN COVE SPRINGS CYPRESS MANAGEMENT & DESIGN, INC.	BLACK CREEK ENGINEERING, INC. 3900 PASEO FINO ROAD GREEN COVE SPRINGS, FLORIDA 32043 PHONE (904) 759-8830 AUTHORIZATION NO. 27946	COLIN D. GROFF, P.E. REG. NO. 47609 Item # 2.
GEOMETRIC LAYOUT			
SHEET <div style="font-size: 2em; font-weight: bold; display: inline-block;">4</div>			

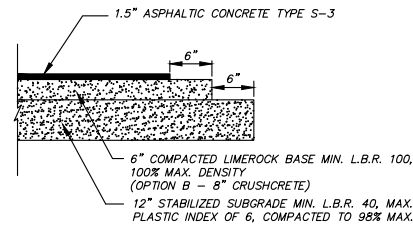


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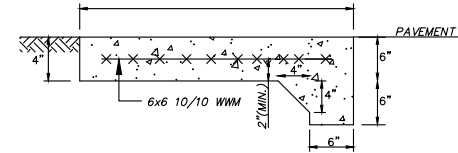
EXISTING MARK:
 12" Iron Pipe
 Elevation = 15.71, NAVD 1988



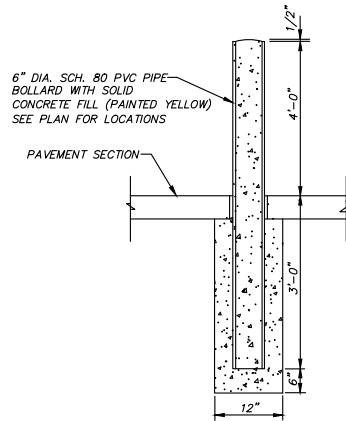
JOB NO. : 21-011 DATE: 10/05/2021 DRAWN BY : CdG CHECKED BY : CdG APPROVED BY : CdG SCALE : 1"=40'	PROPOSED MIXED-USE DEVELOPMENT ORANGE AVENUE, GREEN COVE SPRINGS CYPRESS MANAGEMENT & DESIGN, INC.	BLACK CREEK ENGINEERING, INC. 3900 PASO FINO ROAD GREEN COVE SPRINGS, FLORIDA 32043 PHONE (904) 759-8830 AUTHORIZATION NO. 27946	REVISIONS <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>BY</th> <th>DATE</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	NO.	BY	DATE																															COLIN D. GROFF, P.E. REG. NO. 47609 Item # 2.
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NOT ISSUED FOR CONSTRUCTION																																					



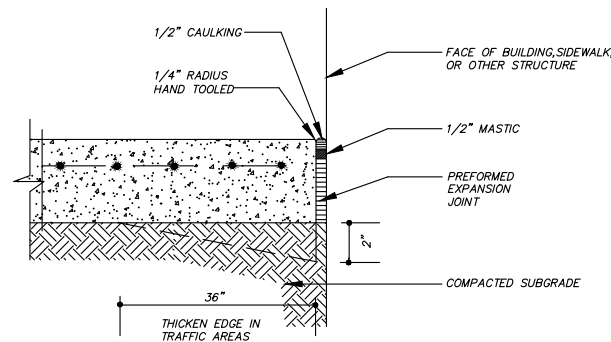
PAVEMENT #1 - ALL INTERNAL PAVEMENT & ACCESS DRIVES
ASPHALT PAVEMENT DETAILS
 NOT TO SCALE



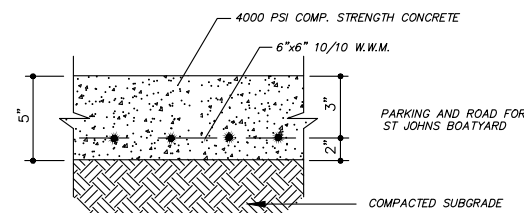
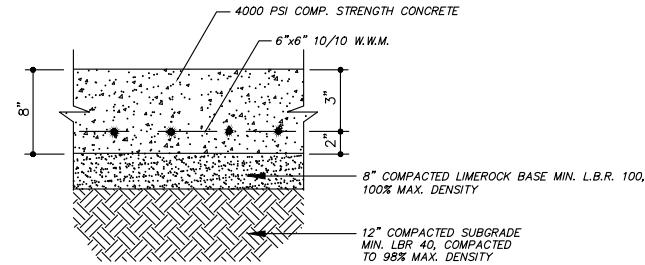
SIDEWALK W/O TURNDOWN SECTION



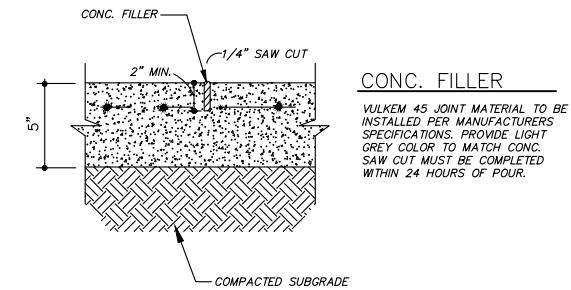
BOLLARD DETAIL
 NOT TO SCALE



ISOLATION JOINT DETAIL

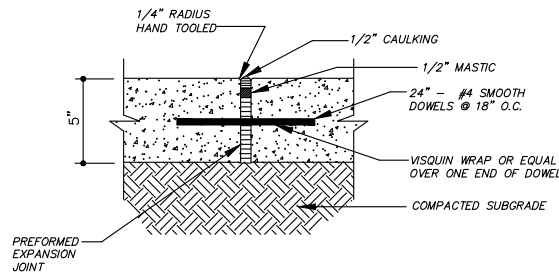


HEAVY DUTY
STANDARD PAVEMENT SECTIONS



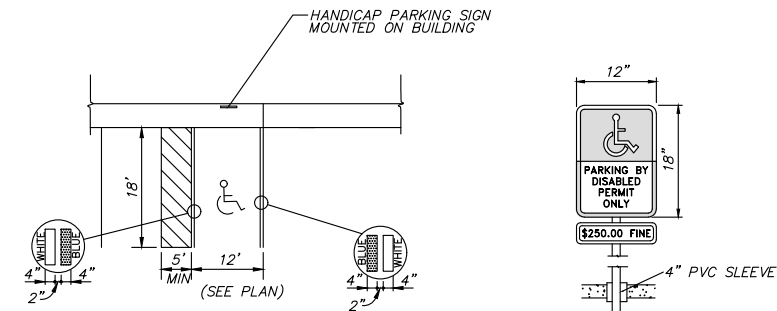
NOTE: THOROUGHLY CLEAN JOINT OF ALL SAND, SOIL AND MISCELLANEOUS DEBRIS. APPLY MASKING TAPE ALONG SIDES OF JOINT FOR TEMPORARY PROTECTION DURING SEALANT APPLICATIONS. APPLY FULL BEAD OF VULKEM 45 POURABLE SEALANT AND TOOL LIGHTLY. REMOVE TAPE IMMEDIATELY. SEE PLAN FOR LOCATIONS.

SAWCUT JOINT DETAIL
 SAWCUT JOINTS AT 10' O.C. (MAX.)



EXPANSION JOINT DETAIL
 EXPANSION JOINTS AT 25' O.C. (MAX.)

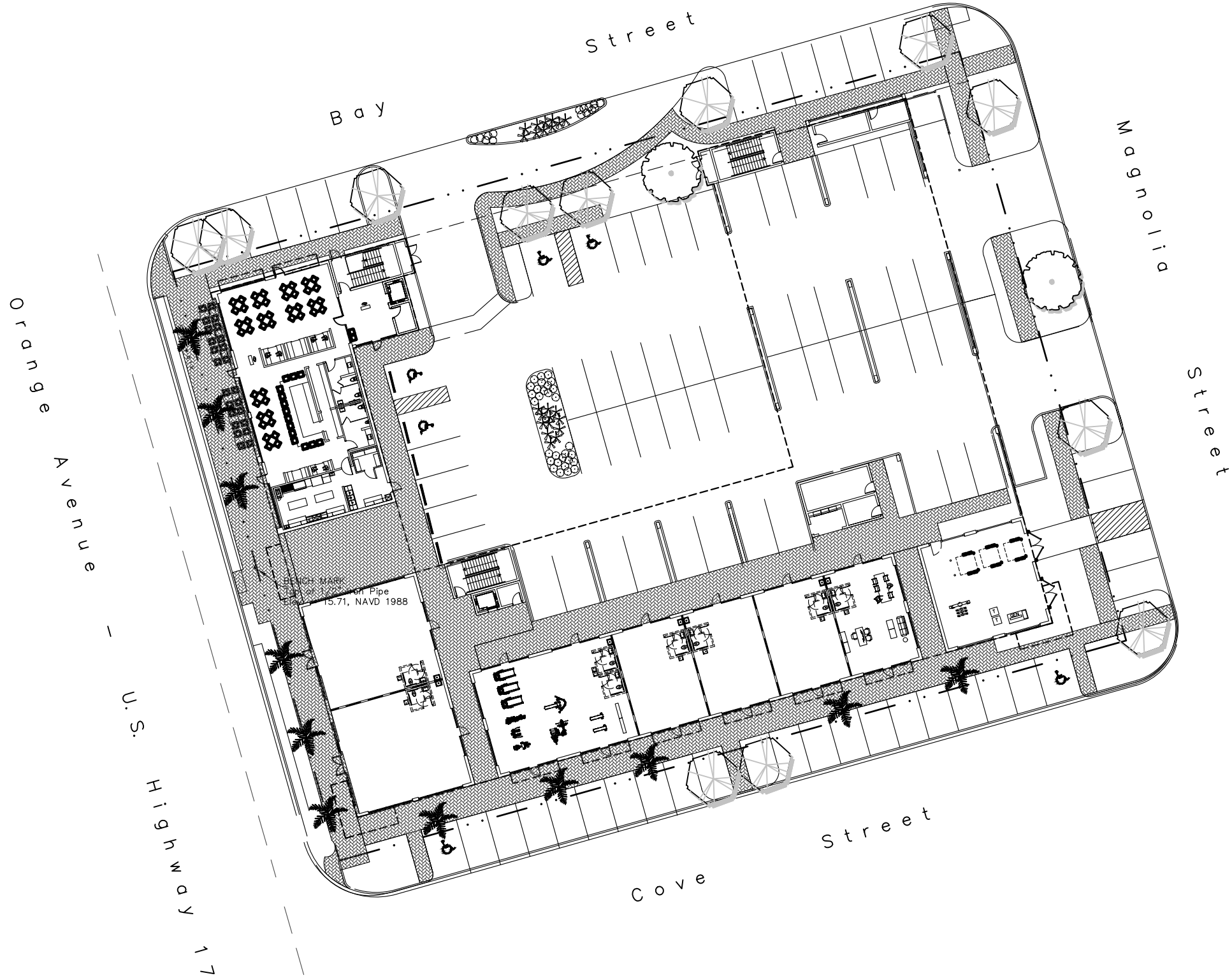
OPTIONAL CONCRETE PAVEMENT DETAILS
 NOT TO SCALE



NOTE: EACH SUCH PARKING SPACE SHALL BE CONSPICUOUSLY OUTLINED IN BLUE PAINT, AND SHALL BE POSTED AND MAINTAINED WITH A PERMANENT, ABOVE-GRADE SIGN BEARING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY OR THE CAPTION "PARKING BY DISABLED PERMIT ONLY", OR BEARING BOTH SUCH SYMBOLS AND CAPTION. SUCH SIGNS SHALL NOT BE OBTAINED BY A VEHICLE PARKED IN THE SPACE. ALL HANDICAPPED PARKING SPACES MUST BE DESIGNED AND MARKED IN ACCORDANCE WITH THE STANDARDS ADOPTED BY THE DEPARTMENT OF TRANSPORTATION.

HANDICAP PARKING DETAIL
 NOT TO SCALE

COLIN D. GROFF, P.E. REG. NO. 47609		Item # 2.	
NO.	DATE	BY	REVISIONS
PROPOSED MULTI-USE DEVELOPMENT ORANGE AVENUE, GREEN COVE SPRINGS CYPRESS MANAGEMENT & DEVELOPMENT, INC.			
CONSTRUCTION DETAILS			
JOB NO. : 21-011	DATE: 10/05/2021	DRAWN BY : C4G	CHECKED BY : C4G
APPROVED BY : C4G			
SCALE : 1"=40'			
SHEET			
6			
Page 22			



JOB NO. : 21-011
 DATE: 10/05/2021
 DRAWN BY : CdG
 CHECKED BY : CdG
 APPROVED BY : CdG
 SCALE : 1"=40'

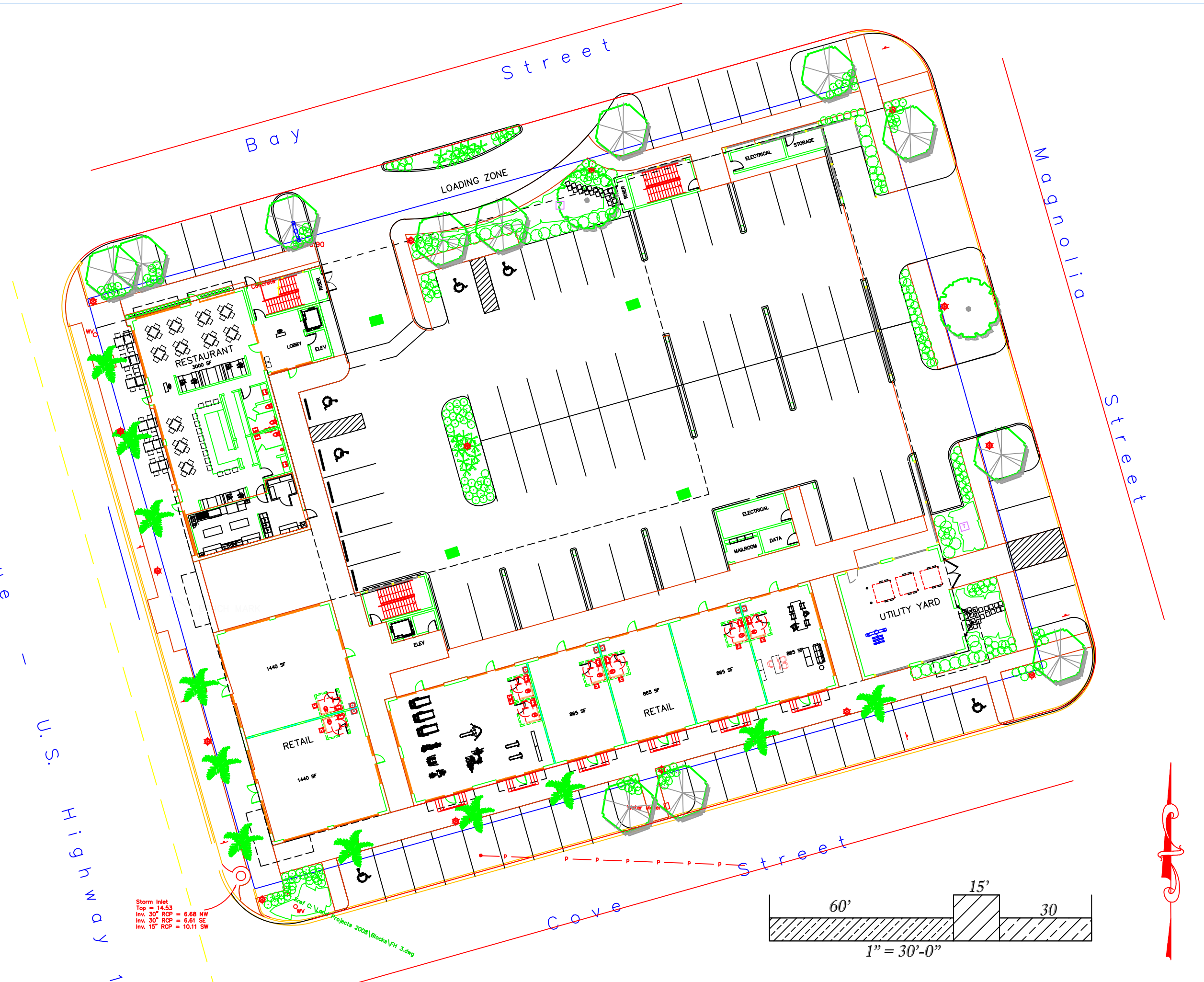
PROPOSED MIXED-USE DEVELOPMENT
 ORANGE AVENUE, GREEN COVE SPRINGS
 CYPRESS MANAGEMENT & DEVELOPMENT, INC.
LANDSCAPE PLAN

BLACK CREEK ENGINEERING, INC.
 3900 PASO FINO ROAD
 GREEN COVE SPRINGS, FLORIDA 32043
 PHONE (904) 759-8830
 AUTHORIZATION NO. 27946

NO.	REVISIONS	BY	DATE

COLIN D. GROFF, P.E.
 REG. NO. 47609
 Item # 2.

SHEET
 7



Storm Inlet
 Top = 14.53
 Inv. 30" RCP = 6.68 NW
 Inv. 30" RCP = 6.61 SE
 Inv. 15" RCP = 10.11 SW

Projects 2008\Blocks\FN 3.dwg

SITE LIGHT



Item # 2.

LIGHT LOCATION

PLANT LEGEND

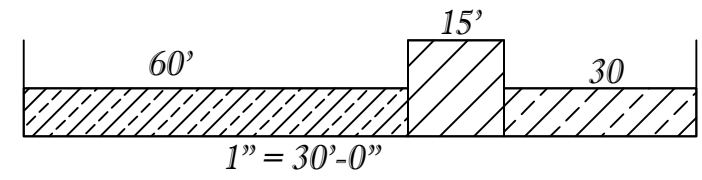
- PALM TREE- WASHINGTONIA PALM
- FLOWERING TREE- CREPE MYRTLE
- SHADE TREE - LIVE OAK
- LOW SHRUBS- HOLLY- AGGAPANTHUS- SAGO-DAYLILYS
- GROUND COVER- MONDO GRASS

DESIGN TEAM:

- ARCHITECT- LAWRENCE SURAGE AND ASSOCIATES
- CIVIL ENGINEER- COLIN GROFF
- LANDSCAPE ARCHITECT- R. HARTWIG
- PLANNER- KELLY HARTWIG

**PRELUDE- GREEN COVE SPRINGS
 CYPRESS MANAGEMENT AND DESIGN**

P.O. BOX 8880, FLEMING ISLAND FL. 32006
 REV. 10-18-2021



BACKFLOW LOCATION RESTAURANT

LOADING - UNLOADING ZONE

TRANSFORMER LOCATION RESTAURANT

STORM WATER - CONNECTION
OUTFALL

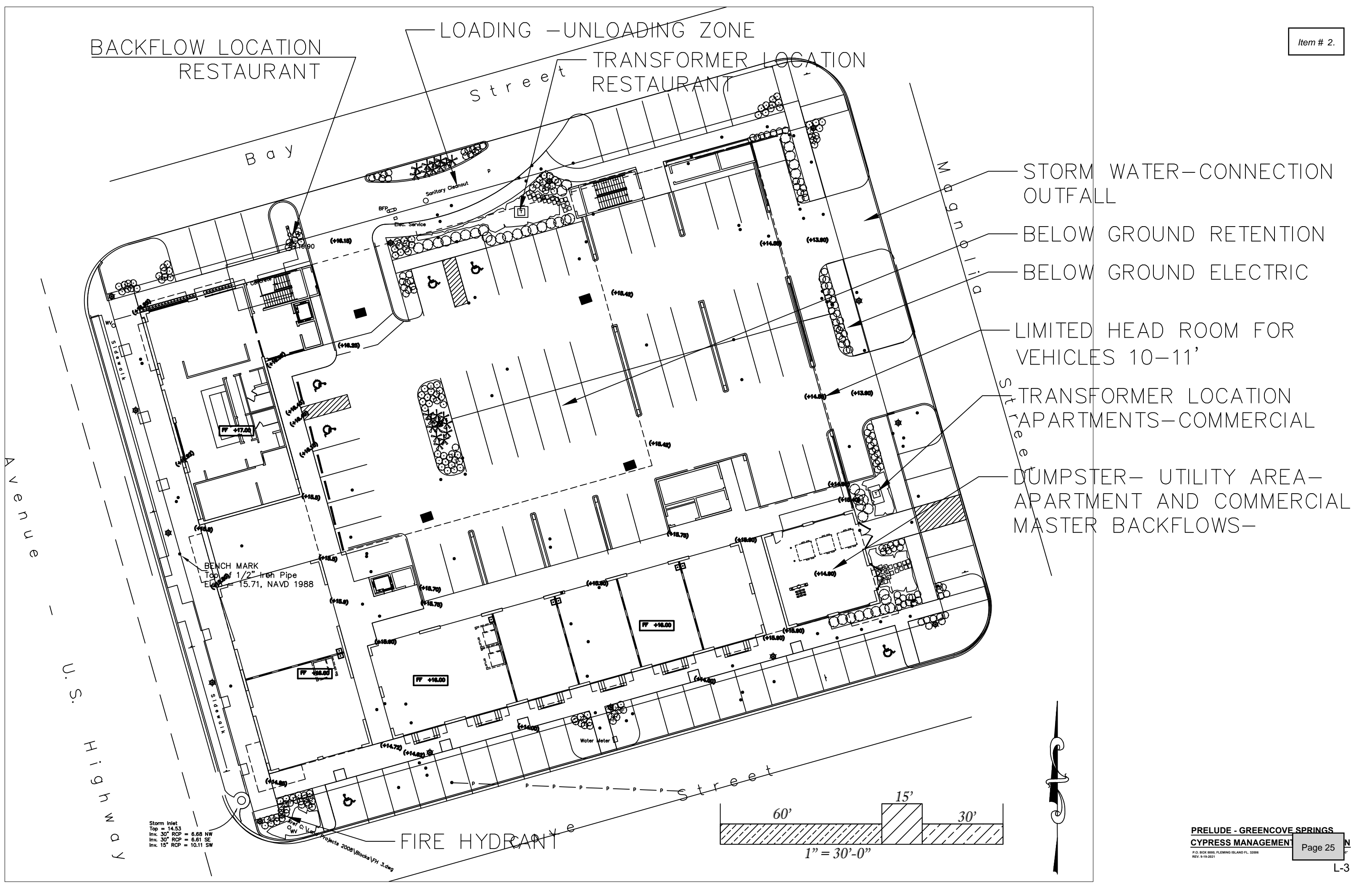
BELOW GROUND RETENTION

BELOW GROUND ELECTRIC

LIMITED HEAD ROOM FOR
VEHICLES 10-11'

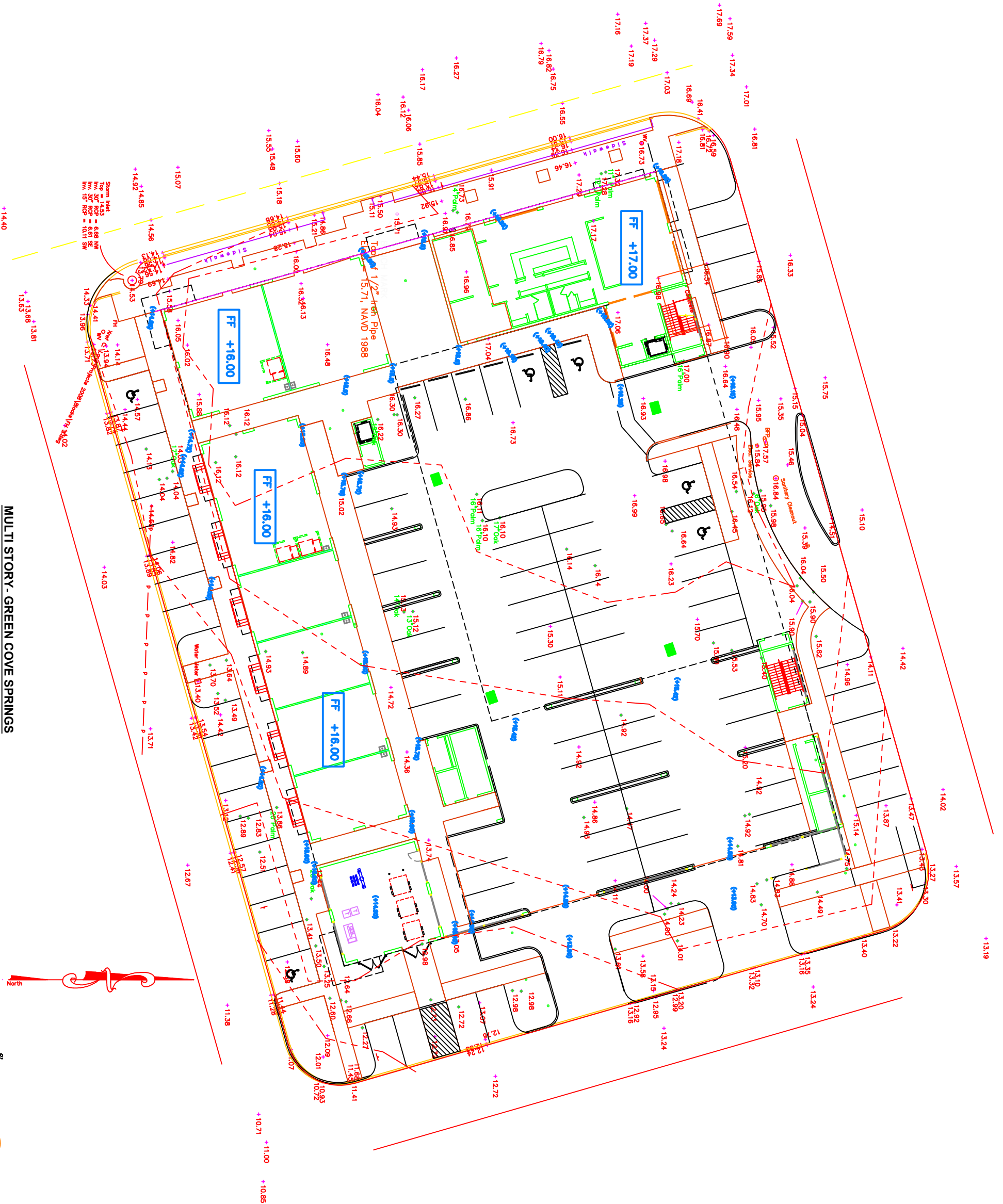
TRANSFORMER LOCATION
APARTMENTS - COMMERCIAL

DUMPSTER - UTILITY AREA -
APARTMENT AND COMMERCIAL
MASTER BACKFLOWS -

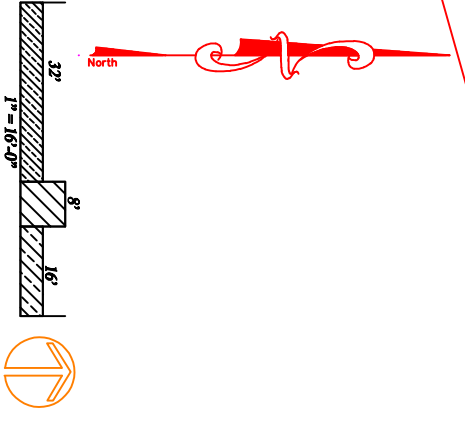


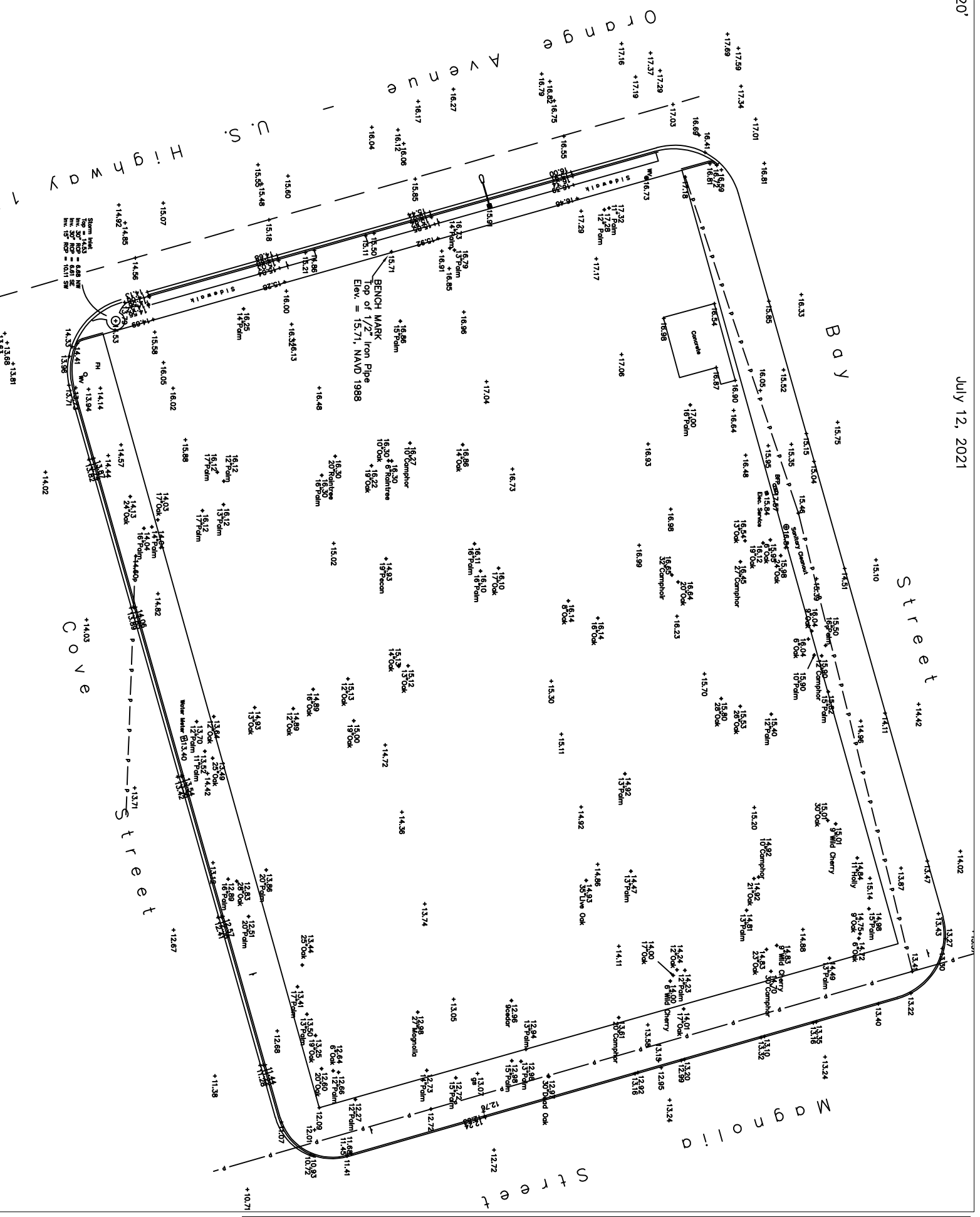
Storm Inlet
 Top = 14.53
 Inv. 30" RCP = 6.88 NW
 Inv. 30" RCP = 6.61 SE
 Inv. 15" RCP = 10.11 SW

Projects 2008\Blocks\FH 3.dwg



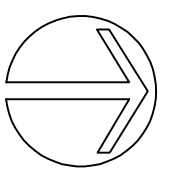
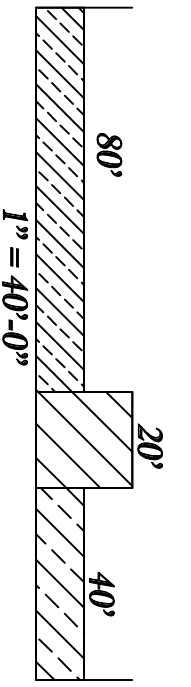
MULTI STORY - GREEN COVE SPRINGS

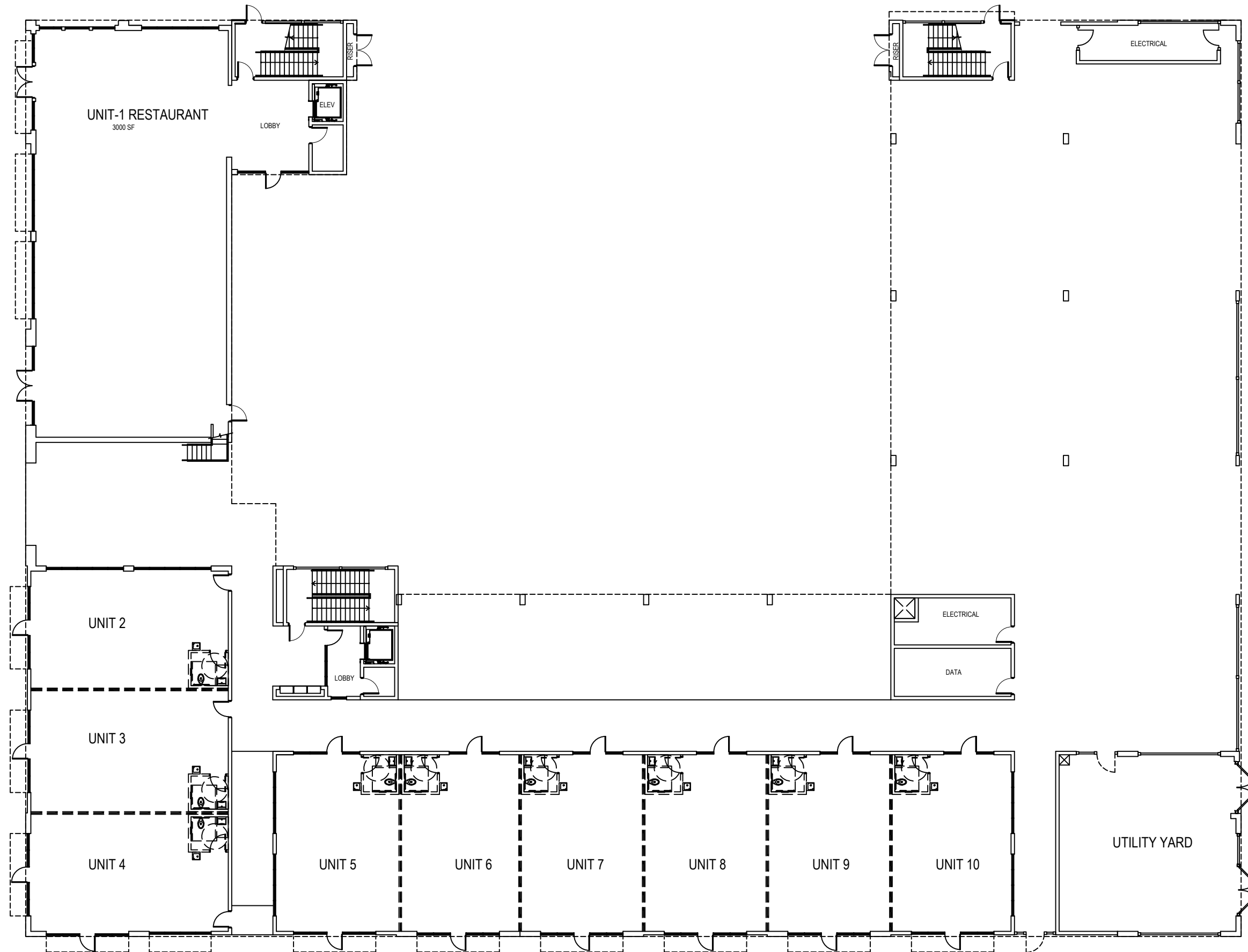


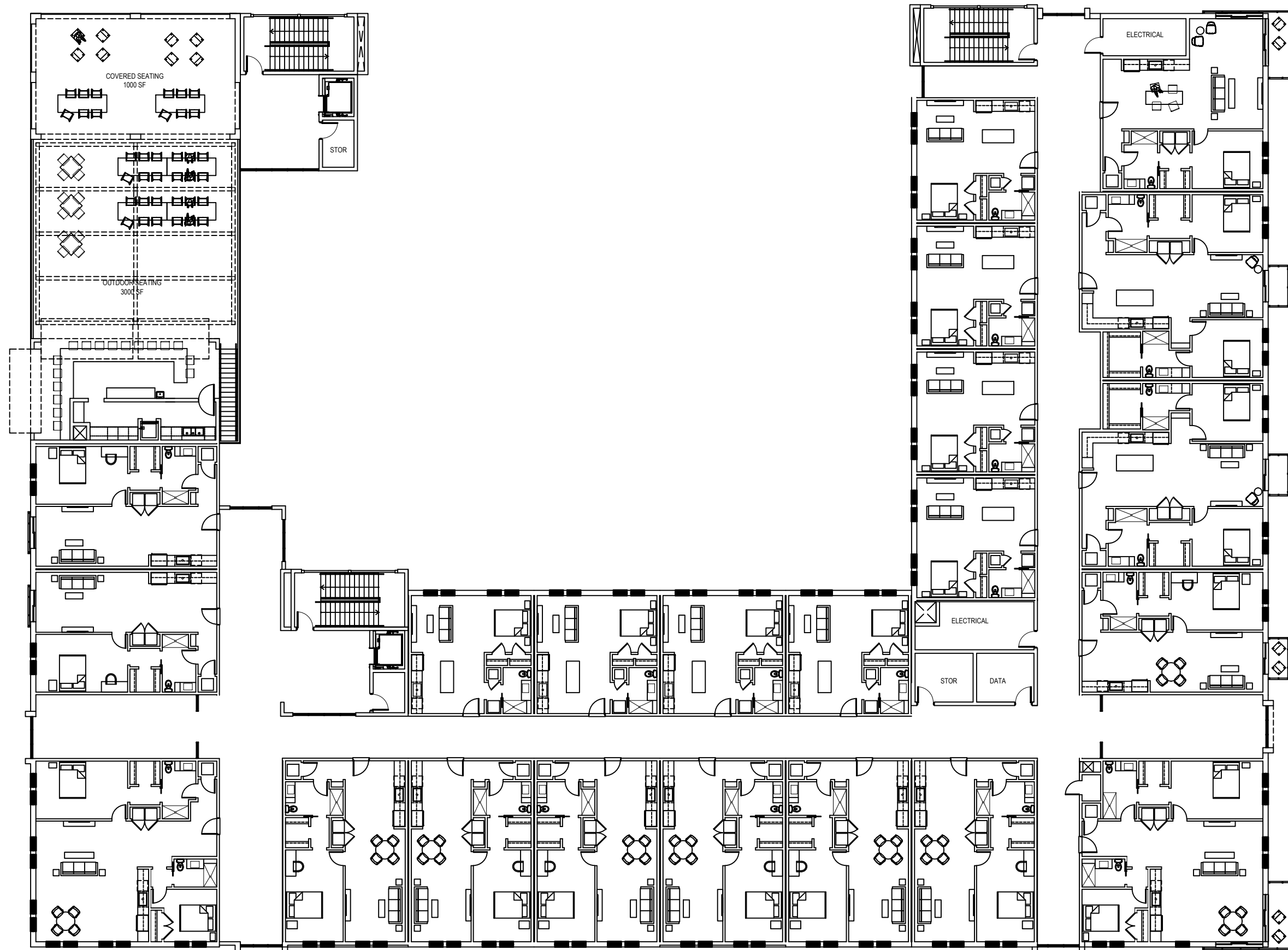


TREE REMOVAL PLANS

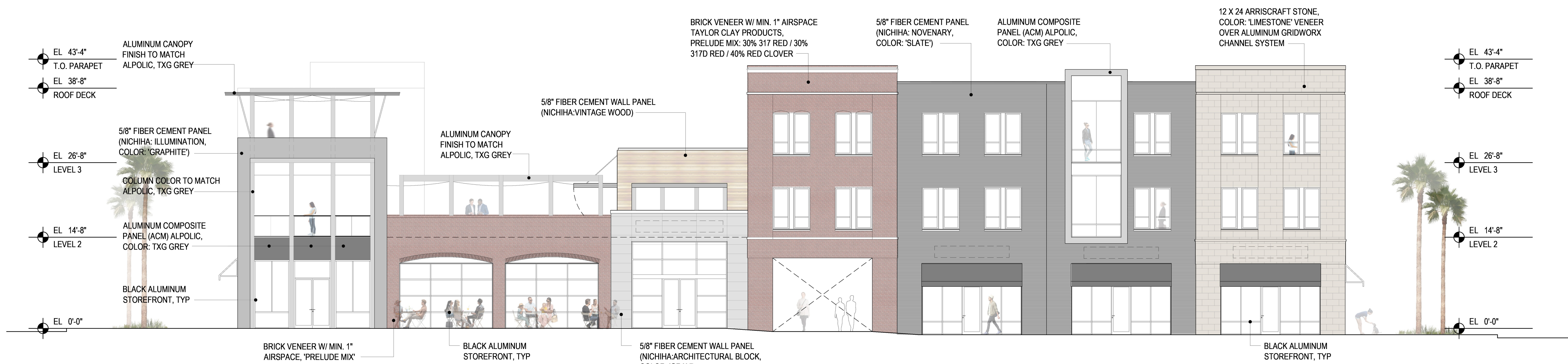
OAK	MAGNOLIA	PALM
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12.00		2
12.00		3
12.00		4
13.00		5
13.00		6
16.00		7
16.00		8
17.00		9
17.00		10
17.00		11
17.00		12
17.00		13
19.00		14
19.00		15
20.00		16
224.00		17
25.00		18
26.00		19
28.00		20
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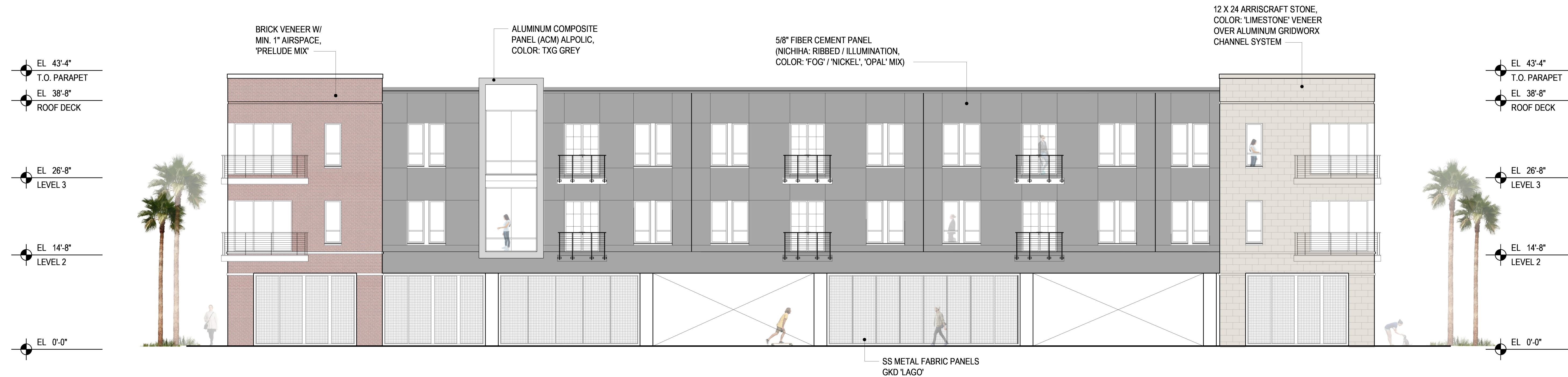




WEST ELEVATION - ORANGE AVE



SOUTH ELEVATION - COVE ST



EAST ELEVATION - MAGNOLIA ST



NORTH ELEVATION - BAY ST

Sec. 113-157. - Number of parking spaces required.

- (a) *Requirements in matrix.* The matrix in subsection (d) of this section specifies the required minimum number of off-street automobile parking spaces, the percentage of automobile spaces that must be reserved for compact vehicles, and, in the notes, any special requirements that may apply.
- (b) *Uses not specifically listed in matrix.* The number of parking spaces required for uses not specifically listed in the matrix shall be determined by the city. The city shall consider requirements for similar uses and appropriate traffic engineering and planning data, and shall establish a minimum number of parking spaces based upon the principles of this subpart.
- (c) *Treatment of mixed uses.* Where a combination of uses is developed, parking shall be provided for each of the uses as prescribed by the matrix, unless a reduction is granted pursuant to section 113-159.
- (d) *Matrix.*

OFF-STREET PARKING REQUIREMENTS

Use	Minimum Off-Street Parking Requirements
<i>Residential</i>	
Single-family, mobile home, adult congregate living facility (group home), roominghouse/bed and breakfast, guest cottage	1, 2, or 3 bedroom units/2 spaces per unit4 or 5 bedroom units/3 spaces per unit6 or more bedroom units/4 spaces per unit
Cluster/multifamily development	Studio units/1 space per unit1 bedroom units/1.5 spaces per unit2 or more bedrooms units/2 spaces per unit, plus 1 visitor spaceThe following uses shall have a minimum of two spaces, plus meet the requirements of this section.
<i>Offices</i>	
Professional offices	1 space/250 square feet of gross floor area
Professional services	1 space/250 square feet of gross floor area
Business offices	1 space/250 square feet of gross floor area
Bank	1 space/250 square feet of gross floor area
Medical clinic/hospital	1 space/180 square feet of gross floor area
Office park	1 space/250 square feet of gross floor area
Government offices	1 space/200 square feet of gross floor areaRetail/sales/service
Personal services	1 space/250 square feet of gross floor area
Day care center	1 space/staff member, plus 1 space/5 children or 1 space/10 children, if adequate drop-off facilities are provided
Beauty/barber	2 spaces per barber chair or each beautician station
Drug stores/supermarkets	1 space/250 square feet of gross floor area
Grocery stores/supermarkets	1 space/250 square feet of gross floor area
Restaurants with or without drive-up facilities	1 space for 65 square feet of dining area
Funeral home	1 space/250 square feet of gross floor area
Service stations (no repair)	1 space/200 square feet of gross floor area
Specialty shops	1 space/250 square feet of gross floor area
Service business	1 space/250 square feet of gross floor area
Retail sales (no outdoor storage)	1 space/250 square feet of gross floor area
Department stores	1 space/250 square feet of gross floor area
Theaters (not drive-in)	Single-screen: 1 space/2 seats, plus 5 spaces for employees Multi-screen: 1 space/3 seats, plus 5 spaces for employees
<i>Commercial</i>	
Convenience stores	1 space/250 square feet of gross floor area
Dry cleaners, Laundromat	1 space/250 square feet of gross floor area
Equipment rental	1 space/250 square feet of gross floor area
Veterinarian	1 space/180 square feet of gross floor area
Motel/hotel	1 space per unit
Shopping center	1 space/250 square feet of gross floor area
<i>Educational, Cultural, Religious Uses</i>	
Churches, synagogues, temples, etc.	1 space/3 seats within the main auditorium or, if there are not fixed seats, 1 space/35 square feet of gross floor area within the main auditorium
Libraries, art museums, galleries, etc.	1 space/35 square feet of gross floor area
Social, fraternal clubs, lodges	1 space/35 square feet of gross floor area
Auditoriums	1 space/3 seats within the auditorium
<i>Recreation, Amusement, Entertainment</i>	
Bowling alleys, billiard halls, pool parlors	4 spaces/alley, plus 2 spaces/billiard table, plus required parking for other uses on the site
Arcades, dance studios, and martial arts studios	1 space/200 square feet of gross floor area
Health clubs, exercise facilities	1 space/150 square feet of gross floor area
Tennis, handball, and racquetball facilities	2 spaces/court
Skating rinks	1 space/250 square feet of gross floor area
Driving range (golf)	1 space/tee
Golf course (regulation)	6 spaces/hole, plus required parking for any other uses on the site
Miniature golf	3 spaces/hole, plus required parking for any other uses on the site
<i>Motor Vehicle—Related Sales and Service</i>	
Gas sales and service	2 spaces, plus 4 for each service bay
Car wash	2.5 spaces/washing stall
Vehicle sales, rental repair and service operations	1 space/400 square feet of enclosed gross floor area, plus 2 spaces for each service bay, plus 1 space/15 percent of outdoor display area
<i>Miscellaneous Facilities</i>	
Post office	1 space/250 square feet of gross floor area.
<i>Industrial</i>	
Industrial and manufacturing uses	1 space/5,000 square feet of gross floor area and 1 space/250 square feet of office space and associated uses

(e) *Special parking spaces.*

- (1) Any parking area to be used by the general public shall provide suitable, marked parking spaces for persons with disabilities. The number, design, and location of these spaces shall be consistent with the requirements of F.S. § 553.5041 or succeeding provisions. No parking space required for persons with disabilities shall be counted as a parking space in determining compliance with subsection (a) of this section, but optional spaces for persons with disabilities shall be counted. All spaces for persons with disabilities shall be paved.
- (2) A portion of the parking spaces required by this subpart may be designated as exclusively for motorcycle parking if the following conditions are met:
 - a. The development services department recommends that the spaces be so designated, based upon projected demand for them and lessened demand for automobile spaces.
 - b. The planning and zoning board approves the recommendation and the designated spaces are shown on the site plan.
 - c. The designated spaces are paved as defined in section 101-5 and suitably marked.
 - d. The designation does not reduce the overall area devoted to parking so that, if the motorcycle spaces are converted to automobile spaces, the minimum requirements for automobile spaces are met. The approval may later be withdrawn and the spaces returned to car spaces, if the building official finds that the purposes of this subpart would be better served thereby, based upon actual use.

motorcycle and automobile parking.

- (f) *Reduction for mixed or joint use of parking spaces.* The planning and zoning board shall authorize a reduction in the total number of required parking spaces for two or more uses jointly provided parking when their respective hours of need of maximum parking do not normally overlap. Reduction of parking requirements because of joint use shall be approved if the following conditions are met:
 - (1) The developer submits sufficient data to demonstrate that hours of maximum demand for parking at the respective uses do not normally overlap.
 - (2) The developer submits a legal agreement approved by the city attorney guaranteeing the joint use of the off-street parking spaces as long as the uses requiring parking are in existence or until the required parking is provided elsewhere in accordance with the provisions of this subpart.
- (g) *Reduction for low percentage of leasable space.* The requirements of subsection (a) of this section assume an average percentage of gross leasable building to total gross building area (approximately 85 percent). If a use has a much lower percentage of leasable space because of cafeterias, athletic facilities, covered patios, multiple stairways and elevator shafts or atriums, or for other reasons, the planning and zoning board may reduce the parking requirements if the following conditions are met:
 - (1) The developer submits a detailed floor plan describing how all of the floor area in the building will be used.
 - (2) The developer agrees in writing that the usage of the square footage identified as not leasable shall remain as identified, unless and until additional parking is provided to conform fully with this subpart.

(Code 2001, § 98-142; Ord. No. O-01-2000, § 6.03.02, 6-6-2000; Ord. No. O-08-2011, § 5, 12-6-2011)

Sec. 113-244. - Required landscaping.

(a) Landscape requirements for one-family dwellings and two-family dwellings shall be as follows:

- (1) At least one canopy tree, 2.5 inches DBH, shall be located in the required front yard of each dwelling unit.
- (2) The lot shall be sodded, seeded, or appropriate ground cover for erosion control.

(b) Landscape requirements for nonresidential uses, including multifamily structures with three or more dwelling units, shall be as follows:

- (1) *Perimeter landscaping.* At a minimum, each site developed for multifamily, institutional, commercial, or industrial uses will contain one shade or canopy tree for each 50 linear feet of the perimeter of the site.
- (2) *Interior landscaping.* There will be one tree per every 1,500 square feet of the first 10,500 square feet of the project site, then one tree for every 4,000 square feet of the remainder of the project site. The trees shall be an equal proportion of shade (canopy) and understory trees. At a minimum, 15 percent of the site shall be landscaped.

(c) Landscape adjacent to streets and parcels.

- (1) A landscaped strip shall be provided along all parcel lines and abutting street right-of-way lines.
- (2) The depth of the required landscaped strip shall be measured and provided parallel to the parcel line or abutting street right-of-way in question.
- (3) Landscaped strips shall be considered to be required landscaped area.
- (4) A landscaped strip may be included in satisfying buffer requirements.

(d) Landscaped strips shall be provided in the following manner:

- (1) Ten-foot landscaped strip along all rights-of-way.
- (2) Alternative design for properties fronting on all roads classified as arterials, including, but not limited to, U.S. 17 (Orange Avenue), S.R. 16 East (Leonard C. Taylor Parkway) and S.R. 16 West (Ferris Street and Idlewild Avenue), shall comply with the following standards: The developer/property owner shall be responsible for providing a landscape buffer in the area abutting the designated roadway right-of-way lines by meeting on of the following conditions:
 - a. The roadway shall be separated from the back of curb by a six-foot landscaped strip, a six-foot pedestrian walkway, then a six-foot landscaped strip.
 - b. Building setback shall be calculated from the back of curb or ten-foot landscaped strip along all rights-of-way.
 - c. Alternative designs. Where natural features or spacing of existing driveways and roadways cause the access requirements of this section affecting placement or planting of landscaped buffers or trees to be physically infeasible, alternate designs may be approved as part of the issuance of the final development order.

(3) The landscape buffer area shall be planted in the following manner:

- a. *Canopy trees.*
 - 1. One row of canopy trees, 2.5 inches DBH at planting. For 50 percent of the canopy trees, two sub-canopy/understory trees may be substituted for each canopy tree.
 - 2. The trees shall be planted every 50 feet and staggered so as to be midway between each other, and equal distance between each row and right-of-way and/or parcel line. Trees shall be evenly spaced. The tree spacing may be altered with approval of the development services, provided the total number of trees is provided.
- b. *Sub-canopy/understory trees.* A minimum of four sub-canopy/understory trees per 100 feet of frontage shall be planted in and about each access point and intersection.
- c. *Hedges.* When off-street parking, loading, unloading and vehicular circulation areas are to be located adjacent to the street right-of-way, a dense hedge of evergreen-type shrubs shall be provided in the following manner:
 - 1. At initial planting and installation, shrubs shall be at least 24 inches in height and shall be planted at least 36 inches or less on center.
 - 2. The hedge shall be planted four feet or more from the tree trunks.
 - 3. Within two years of initial planting and installation, shrubs shall have attained and be maintained at a minimum height of three feet and shall provide an opaque vegetative screen between the street and the use of the premises.
 - 4. In lieu of a vegetative hedge, the use of vegetated berms or other appropriate landscape materials in a manner that results in the visual separation of street right-of-way can be approved by the development services director.
- d. *Shrubs.*
 - 1. Buffer areas, not adjacent to a street right-of-way, shall include nine shrubs for every 100 linear feet of the parcel line
 - 2. Shrubs shall be at least 24 inches in height at the time of planting.

(e) Groundcover. The buffer area shall be planted with groundcover minimum of 18 inches on center or solid grass sod, unless natural area to remain.

(Code 2001, § 98-233; Ord. No. O-01-2000, § 6.06.02, 6-6-2000; Ord. No. O-08-2011, § 5, 12-6-2011; Ord. No. O-03-2017, exh. A(98-233), 1-24-2017)

Sec. 117-447. - Parking.

- (a) Parking development in the downtown occurred without the advantage of adequate off-street parking facilities. However, as redevelopment occurs, the need for adequate parking will become a reality. Therefore, parking space requirements shall be calculated in accordance with chapter 113, article III, pertaining to off-street parking and loading, provided to the extent possible onsite. Additional remote parking spaces, while allowed, shall not be required.
- (b) Alternative compliance.
 - (1) *Combined off-street parking.* Two or more owners or operators of buildings or uses requiring off-street parking facilities may make collective provisions for such facilities, provided that the total of such parking spaces, when combined or used together, shall not be less than the sum of the requirements computed separately.
 - (2) *Combined off-street loading.* Collective, joint, or combined provisions for off-street loading facilities for two or more buildings or uses may be made, provided that such off-street loading facilities are equal in size and capacity to the combined requirements of the several buildings or uses and are designed, located, and arranged to be usable by such uses.
 - (3) *Shared parking plan.* If a property owner in a business district:
 - a. Believes that the full number of off-street parking spaces required is not necessary to provide adequate off-street parking for the proposed use because of unique characteristics of the site or the proposed uses;
 - b. Desires to share parking spaces with nearby uses in a manner that is not authorized by this subsection (b)(3); or
 - c. Desires to have two or more adjacent properties considered as a single parcel for purposes of compliance with parking requirements, and the sum of the available parking on such lots is sufficient to meet the sum of the minimum off-street parking requirements for each use on such properties;
 the property owner may apply to the city manager or his designee for approval of a shared parking plan. The city manager or his designee may approve such an application, or approve it with modifications, if it is determined the shared parking plan provides adequate off-street parking for the proposed uses, and would not significantly increase on-street parking in the area. The city manager or his designee may condition the approval of a shared parking plan on the applicant adopting restrictions on hours of operation of one or more participating use in order to ensure that the shared parking is adequate for anticipated needs.
 - (4) *Agreements.* Any use of any of the parking or loading alternatives identified in this subsection (b) shall be subject to the filing of a deed restriction satisfactory to the city attorney ensuring that such off-street parking or loading will be maintained in the future so long as a use or uses requiring such off-street parking or loading continue. If all or a portion of the parking required to serve a use is located on a property under different ownership, the city may require the execution of an agreement among the property owners involved as a precondition to approval of the requested parking alternative, and may record such agreement in the title records of the properties involved.
- (c) To mitigate the potential impact of additional impervious parking areas, if a parking area will have sporadic use as a parking lot, the applicant may request a waiver to use turf, block, bricks, pavers, gravel, millings or an acceptable substitute to stabilize the required parking area, subject to the review and approval of the city. Any waiver under this subsection shall be conditioned on compliance with the following requirements:
 - (1) All required parking spaces for the handicapped shall be paved with asphalt or concrete as required by state law and shall be located to provide easy access to the building.
 - (2) The site must not contain soils rated low to medium as determined by the city or having steep slopes exceeding five percent.
 - (3) The millings or gravel shall cover the parking area to a minimum thickness of between two and four inches or as otherwise required by the city.
 - (4) Landscape timbers or a comparable substitute shall be used to outline and contain shifting surfaces.
 - (5) The owner or developer agrees to execute and record a maintenance agreement providing for maintenance, replacement, and repair of the parking area.
 - (6) The city may require maintenance of the area and replacement or repair of the parking surface upon inspection and identification of deficient thickness or irregularities in the surface.
 - (7) All parking areas shall be appropriately lighted under all applicable provisions of this Code.

(Code 2001, § 102-357; Ord. No. O-08-2011, § 6, 12-6-2011)

Sec. 113-275. - Removal of trees.

- (a) Removal of a tree includes any act which will cause a tree to die, such as damage inflicted upon the root system by heavy machinery, changing the natural grade above the root system or round damage, including fire damage, inflicted on the tree permitting infection or pest infestation.
- (b) It shall be unlawful for any person, organization, society, association or corporation or any agent or representative thereof, directly or indirectly, to cut down, destroy, remove or move, or effectively destroy through damaging any tree located on any property without obtaining a permit.
- (c) No authorization for the removal of a protected tree shall be granted unless the developer demonstrates the reason for removal of trees.

(Code 2001, § 98-261; Ord. No. O-01-2000, § 6.07.01, 6-6-2000; Ord. No. O-08-2011, § 5, 12-6-2011; Ord. No. O-03-2017, exh. B(98-261), 1-24-2017)

ORDINANCE NO. O-20-2021

AN ORDINANCE OF THE CITY COUNCIL OF GREEN COVE SPRINGS, FLORIDA AMENDING THE FUTURE LAND USE MAP FOR ±1.23 ACRES OF PROPERTY BOUNDED BY BAY STREET, MAGNOLIA AVENUE, COVE STREET, AND ORANGE AVENUE, IDENTIFIED AS TAX ID NUMBERS 017310-000-00, 017311-000-00, 017312-000-00 AND 017313-000-00, MORE PARTICULARLY DESCRIBED BY EXHIBIT “A”, FROM COMMERCIAL HIGH INTENSITY AND INSTITUTIONAL TO CENTRAL BUSINESS DISTRICT; PROVIDING FOR REPEALER, SEVERABILITY AND SETTING AN EFFECTIVE DATE.

RECITALS

WHEREAS, an application for a small-scale comprehensive plan amendment, as described below, to the Comprehensive Plan Future Land Use Map has been filed with the City; and

WHEREAS, a duly advertised public hearing was conducted on the proposed amendment on October 26, 2021 by the Planning and Zoning Board, sitting as the Local Planning Agency (LPA) and the LPA reviewed and considered comments received during the public hearing concerning the application and made its recommendation for approval to the City Council; and,

WHEREAS, the City Council considered the recommendations of the LPA at a duly advertised public hearing on November 2, 2021 and December 7, 2021 and provided for and received public participation; and,

WHEREAS, the City Council has determined and found said application for the amendment, to be consistent with the City of Green Cove Springs Comprehensive Plan and Land Development Regulations; and,

WHEREAS, for reasons set forth in this Ordinance that is hereby adopted and incorporated as findings of fact, that the Green Cove Springs City Council finds and declares that the enactment of this amendment is in the furtherance of the public health, safety, morals, order, comfort, convenience, appearance, prosperity, or general welfare.

NOW, THEREFORE BE IT ENACTED BY THE CITY COUNCIL OF GREEN COVE SPRINGS, FLORIDA AS FOLLOWS:

Section 1. Findings of Fact and Conclusions of Law.

1. The above recitals are true and correct and incorporated herein by reference.
2. The proposed Future Land Use Map amendment is consistent with the Comprehensive Plan.

3. The amendment will not cause a reduction in the adopted level of service standards for transportation, potable water, sanitary sewer, solid waste, stormwater, recreation, or public schools.

Section 2. Comprehensive Plan Future Land Use Map Amended. The Comprehensive Plan Future Land Use Map is hereby amended from Institutional and Commercial High Intensity to Central Business District on property bounded by Bay Street, Magnolia Avenue, Cove Street, and Orange Avenue, also known as Tax Parcel Numbers 38-06-26-017310-000-00, 38-06-26-017311-000-00, 38-06-26-017312-000-00 and 38-06-26-017313-000-00 in accordance with the legal description found in Exhibit “A”, survey found in Exhibit “B” and map found in Exhibit “C” attached hereto.

Section 3. Ordinance to be Construed Liberally. This ordinance shall be liberally construed in order to effectively carry out the purposes hereof which are deemed to be in the best interest of the public health, safety and welfare of the citizens and residents of Green Cove Springs, Florida.

Section 4. Repealing Clause. All ordinance or parts of ordinances in conflict herewith are, to the extent of the conflict, hereby repealed.

Section 5. Severability. It is the declared intent of the City Council of the City of Green Cove Springs that, if any section, sentence, clause, phrase, or provision of this ordinance is for any reason held or declared to be unconstitutional, void, or inoperative by any court or agency of competent jurisdiction, such holding of invalidity or unconstitutionality shall not affect the remaining provisions of this ordinance, and the remainder of the ordinance after the exclusions of such part or parts shall be deemed to be valid.

Section 6. Effective Date. The effective date of this plan amendment, if the amendment is not timely challenged, shall be 31 days after the state land planning agency notifies the City that the plan amendment package is complete in accordance with Chapter 163.3184 F.S. If timely challenged, this amendment shall become effective on the date the state land planning agency or the Administrative Council enters a final order determining this adopted amendment to be in compliance in accordance with Chapter 163.3184 F.S. No development orders, development permits, or land uses dependent on this amendment may be issued or commenced before this plan amendment has become effective.

INTRODUCED AND APPROVED AS TO FORM ONLY ON THE FIRST READING BY THE CITY COUNCIL OF THE CITY OF GREEN COVE SPRINGS, FLORIDA, ON THIS 2nd DAY OF NOVEMBER 2021.

CITY OF GREEN COVE SPRINGS, FLORIDA

Edward R. Gaw, Mayor

ATTEST:

Erin West, City Clerk

PASSED ON SECOND AND FINAL READING BY THE CITY COUNCIL OF THE CITY OF GREEN COVE SPRINGS, FLORIDA, THIS 7th DAY OF DECEMBER 2021.

CITY OF GREEN COVE SPRINGS, FLORIDA

Edward R. Gaw, Mayor

ATTEST:

Erin West, City Clerk

APPROVED AS TO FORM:

L. J. Arnold, III, City Attorney

EXHIBIT “A”

Tax Parcel Numbers 38-06-26-017310-000-00, 38-06-26-017311-000-00, 38-06-26-017312-000-00, & 38-06-26-017313-000-00

LEGAL DESCRIPTION

Parcel 1:

The West 1/2 of Lot 3, Block 20, Green Cove Springs, according to plat thereof as recorded in Plat Book 1, Page 40, of the public records of Clay County, Florida.

Parcel 2:

Lots 1 and 4, Block 20, Green Cove Springs, according to plat thereof as recorded in Plat Book 2, page 1, public records of Clay County, Florida.

EXHIBIT "B"

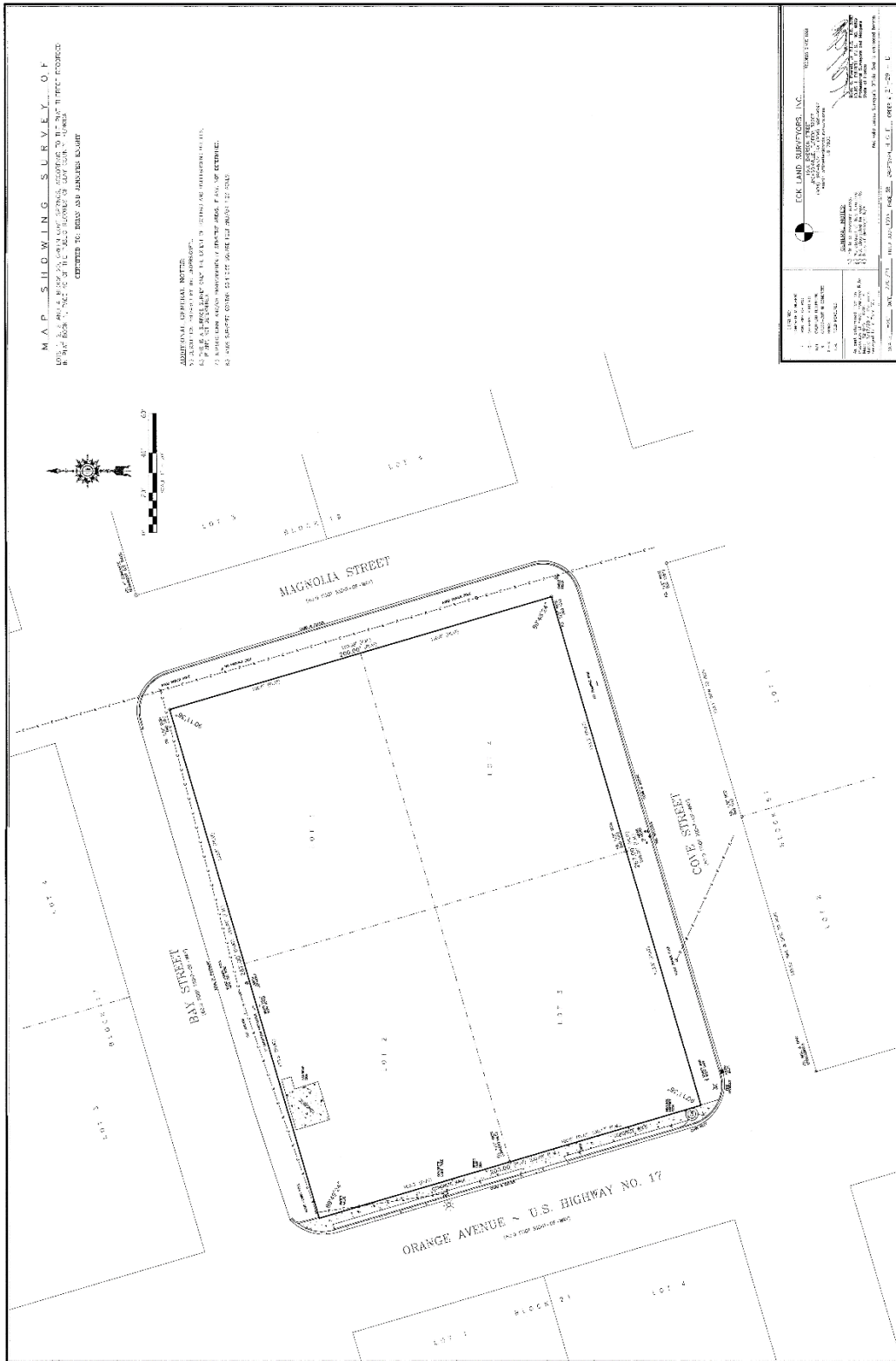
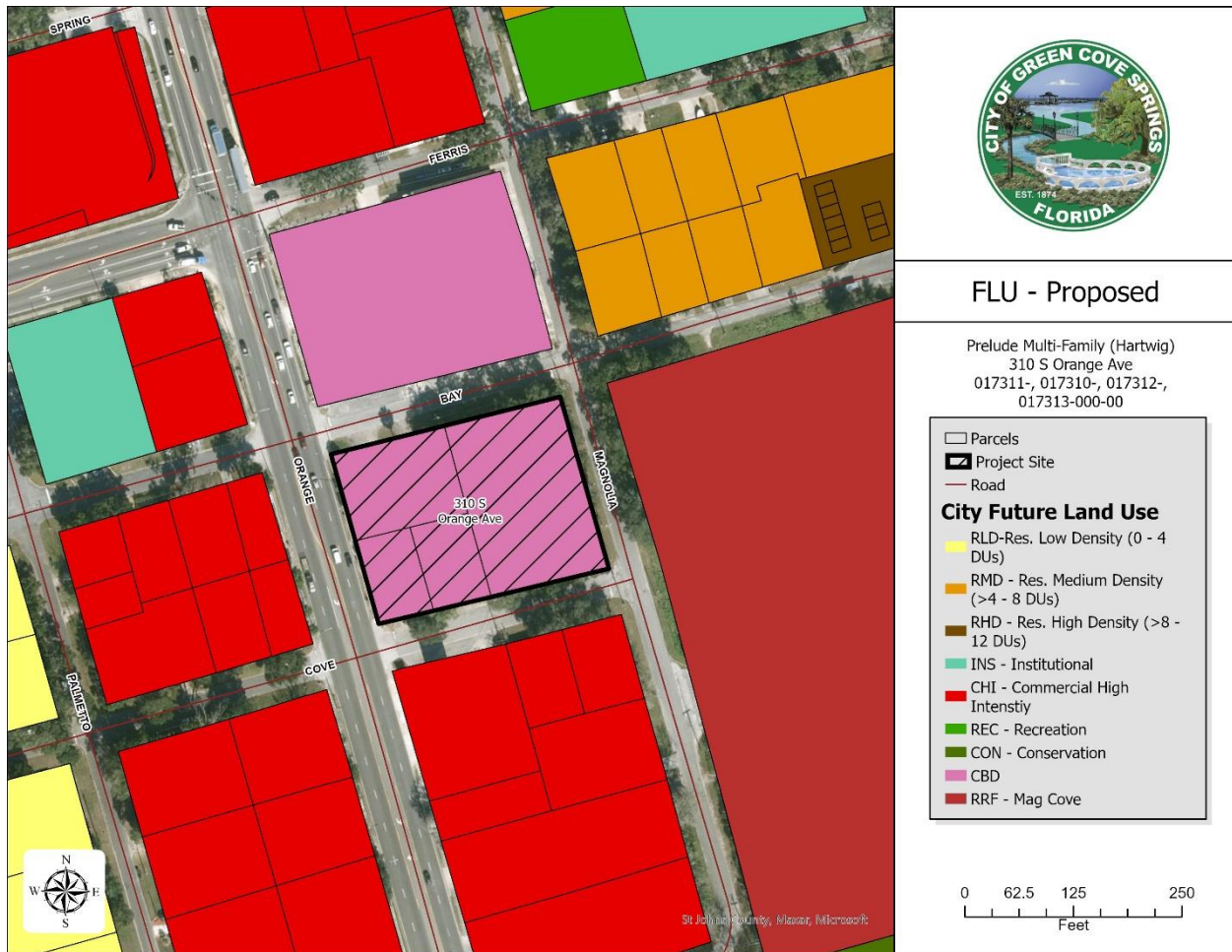


EXHIBIT "C"



ORDINANCE NO. O-21-2021

AN ORDINANCE OF THE CITY COUNCIL OF GREEN COVE SPRINGS, FLORIDA REZONING ±1.23 ACRES OF PROPERTY BOUNDED BY BAY STREET, MAGNOLIA AVENUE, COVE STREET, AND ORANGE AVENUE, IDENTIFIED AS TAX ID NUMBERS 017310-000-00, 017311-000-00, 017312-000-00 AND 017313-000-00, MORE PARTICULARLY DESCRIBED BY EXHIBIT “A”, FROM GATEWAY CORRIDOR COMMERCIAL TO CENTRAL BUSINESS DISTRICT; PROVIDING FOR REPEALER, SEVERABILITY AND SETTING AN EFFECTIVE DATE.

WHEREAS, the City has received a request to amend the Future Land Use Map for the subject parcel from Commercial High Intensity and Institutional to Central Business District; and

WHEREAS, the City approved the Future Land Use Map amendment for the subject property such that it will be designated as Central Business District on the Future Land Use Map of the City, and

WHEREAS, the City has received a request to rezone the subject parcel from Gateway Corridor Commercial to Central Business District; and

WHEREAS, the City has the authority pursuant to its home rule and other statutory powers to rezone properties within the City; and

WHEREAS, a duly advertised public hearing was conducted on the proposed rezoning on October 26, 2021 by the Planning and Zoning Board, sitting as the Local Planning Agency (LPA), and the LPA reviewed and considered comments received during the public hearing concerning the application and made its recommendation for approval to the City Council; and,

WHEREAS, the City Council considered the recommendations of the LPA at a duly advertised public hearing on November 2, 2021 and December 7, 2021 and provided for and received public participation; and,

WHEREAS, the City Council has determined and found said application for the amendment, to be consistent with the City of Green Cove Springs Comprehensive Plan and Land Development Regulations; and,

WHEREAS, for reasons set forth in this Ordinance that is hereby adopted and incorporated as findings of fact, that the Green Cove Springs City Council finds and declares that the enactment of this amendment is in the furtherance of the public health, safety, morals, order, comfort, convenience, appearance, prosperity, or general welfare.

NOW THEREFORE, BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF GREEN COVE SPRINGS, FLORIDA AS FOLLOWS:

Section 1. Zoning Map Amended. The Zoning Map is hereby amended for the following property from Gateway Corridor Commercial to Central Business District:

Tax Parcel ID# 38-06-26-017310-000-00, 38-06-26-017311-000-00, 38-06-26-017312-000-00 and 38-06-26-017313-000-00, said property being bounded by Bay Street, Magnolia Avenue, Cove Street, and Orange Avenue, in accordance with the legal description found in Exhibit “A”, survey found in Exhibit “B”, and map found in Exhibit “C” attached hereto.

Section 2. Ordinance to be Construed Liberally. This ordinance shall be liberally construed in order to effectively carry out the purposes hereof which are deemed to be in the best interest of the public health, safety and welfare of the citizens and residents of Green Cove Springs, Florida.

Section 3. Repealing Clause. All ordinance or parts of ordinances in conflict herewith are, to the extent of the conflict, hereby repealed.

Section 4. Severability. It is the declared intent of the City Council of the City of Green Cove Springs that, if any section, sentence, clause, phrase, or provision of this ordinance is for any reason held or declared to be unconstitutional, void, or inoperative by any court or agency of competent jurisdiction, such holding of invalidity or unconstitutionality shall not affect the remaining provisions of this ordinance, and the remainder of the ordinance after the exclusions of such part or parts shall be deemed to be valid.

Section 5. Effective Date. This Ordinance shall become effective upon passage.

INTRODUCED AND APPROVED AS TO FORM ONLY ON THE FIRST READING BY THE CITY COUNCIL OF THE CITY OF GREEN COVE SPRINGS, FLORIDA, ON THIS 2nd DAY OF NOVEMBER 2021.

CITY OF GREEN COVE SPRINGS, FLORIDA

Edward R. Gaw, Mayor

ATTEST:

Erin West, City Clerk

PASSED ON SECOND AND FINAL READING BY THE CITY COUNCIL OF THE CITY OF GREEN COVE SPRINGS, FLORIDA, THIS 7th DAY OF DECEMBER 2021.

CITY OF GREEN COVE SPRINGS, FLORIDA

Edward R. Gaw, Mayor

ATTEST:

Erin West, City Clerk

APPROVED AS TO FORM:

L. J. Arnold, III, City Attorney

EXHIBIT “A”

Tax Parcel Numbers 38-06-26-017310-000-00, 38-06-26-017311-000-00, 38-06-26-017312-000-00, & 38-06-26-017313-000-00

LEGAL DESCRIPTION

Parcel 1:

The West 1/2 of Lot 3, Block 20, Green Cove Springs, according to plat thereof as recorded in Plat Book 1, Page 40, of the public records of Clay County, Florida.

Parcel 2:

Lots 1 and 4, Block 20, Green Cove Springs, according to plat thereof as recorded in Plat Book 2, page 1, public records of Clay County, Florida.

EXHIBIT "B"

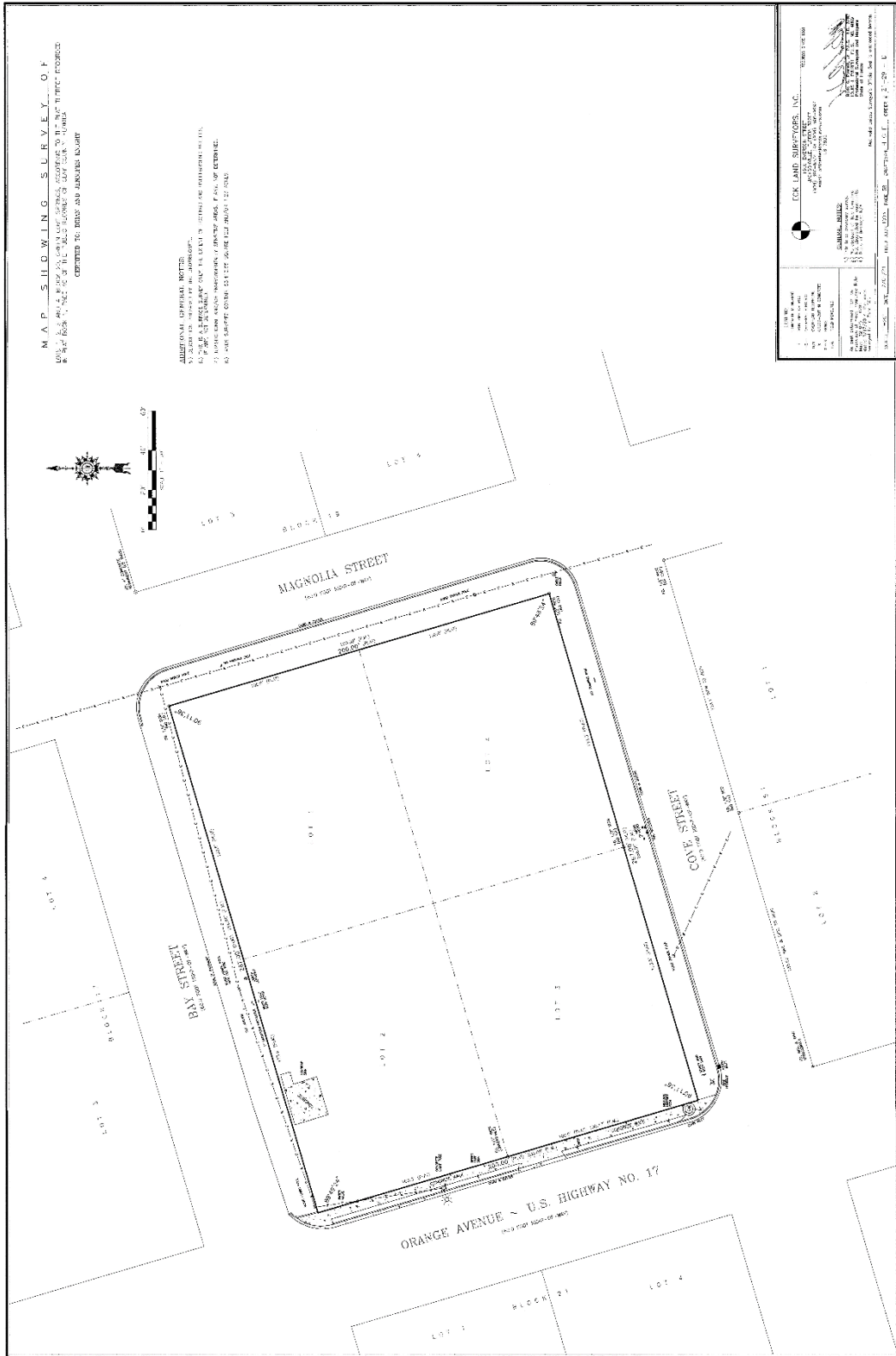


EXHIBIT "C"



210-052 Prelude Commercial-Residential Development

City/County: Green Cove Springs, Clay County

Jurisdiction(s): City of Green Cove Springs

1.0 Project Description

A multi-use development anticipated to include 42 apartments, 8,064 square feet (SF) retail and 7,181 SF restaurants (open air and enclosed) is proposed for construction on a parcel east of US 17 between Bay Street, Cove Street and Magnolia Avenue with a buildout of 2023. Access to the proposed development will be provided via Bay Street and Magnolia Avenue with a drop off lane on Bay Street to allow for mail and other delivery trucks.

2.0 Trip Generation

Source: Institute of Transportation Engineers Trip Generation Manual, 11th Edition

LUC	Description	Size	PM Trips		
			Entering	Exiting	Total
220	Multifamily House (Low-Rise)	42 DU	24	15	39
822	Strip Retail Plaza (<40K)	8,074 SF	58	49	107
975	Drinking Place	7,181 SF	76	36	112
Total Gross Trips			158	100	258

Internal Capture and/or Pass-by Trips may be evaluated

3.0 Study Area

Intersection	Signalized	Unsignalized	Project Access
US 17 (Orange Avenue) at Bay Street		X	
Magnolia Avenue at Bay Street		X	
Magnolia Avenue at Cove Street		X	
US 17 (Orange Avenue) at Cove Street		X	
Bay Street at North Project Access			X
Magnolia Avenue at East Project Access			X

4.0 Traffic Data Collection

- A. AM and PM Peak turning movement counts
 - US 17 (Orange Avenue) at Bay Street
 - Magnolia Avenue at Bay Street
 - Magnolia Avenue at Cove Street
 - US 17 (Orange Avenue) at Cove Street
- B. Historical Traffic Data
 - 2010-2019 Clay Local Road Traffic Counts

5.0 Traffic Forecasting

- A. Project Traffic Distribution and Assignment based on:
 - Travel Demand Model(s):

Existing traffic patterns

B. Background Traffic Projections Growth Rate(s)

- Travel Demand Model
- FDOT Trends Spreadsheet Program
- FDOT LOS Report
- Local Report

6.0 Analysis Years

- Existing year: 2021
- Background year: 2023
- Buildout year: 2023

7.0 Traffic Operational Analysis

Software	Project Access			Intersections		
	Existing	Background	Buildout	Existing	Background	Buildout
LOSPLAN						
HCS/HCM						
Synchro	X	X	X	X	X	X
SimTraffic						

8.0 Turn Lane Analysis

Criteria	Left Turn Lane			Right Turn Lane		
	State	Local	Private	State	Local	Private
Turn Lane Length						
▪ <i>FDM Exhibit 212-1</i>						
▪ <i>Florida Greenbook</i>						
▪ <i>Local guidelines/requirements</i>		X			X	
Warrants/Requirements						
▪ <i>FDOT Access Management Guidebook</i>						
▪ <i>NCHRP / Harmelink</i>		X			X	



PARKING LOT A- 40 PARKING SPOTS
PARKING LOT B- 46 PARKING SPOT, 3 HANDICAP
PARKING LOT C- 20 PARKING SPOTS, 2 HANDICAP
PARKING LOT D- 20 PARKING SPOTS, 2 HANDICAP
PARKING LOT E- 26 PARKING SPOTS, 3 HANDICAP
WALNUT STREET PARKING- 36 SPOTS
MAGNOLIA STREET PARKING- 12 SPOTS
SPRING STREET PARKING= 12

River Side	Street Parking	With-in 3 Blocks	With-in 4 blocks	Shared Parking
17 to Walnut Street to River	28	140	200	Not considered at this time
17 to Spring Street to River	8			
17 to Palmer Street to River	8			
17 to Ferris Street to River	15			
City Side				
Pine Street to Walnut Street to 17	24			
Pine Street to Spring Street to 17	none			
Pine Street to Palmer Street to 17	10			
Palmetto Street to Ferris Street	24			
Parking Lots	Parking Lot Spots			
Parking lot A (Overflow Grass Parking)	40 +/-			
Parking lot B (Spring Public Parking)	64			
Parking lot C (Public Parking Lot)	22			
Parking lot D (Public Parking Lot)	22			
Parking lot E (City Hall Parking Lot)	29			

Prelude

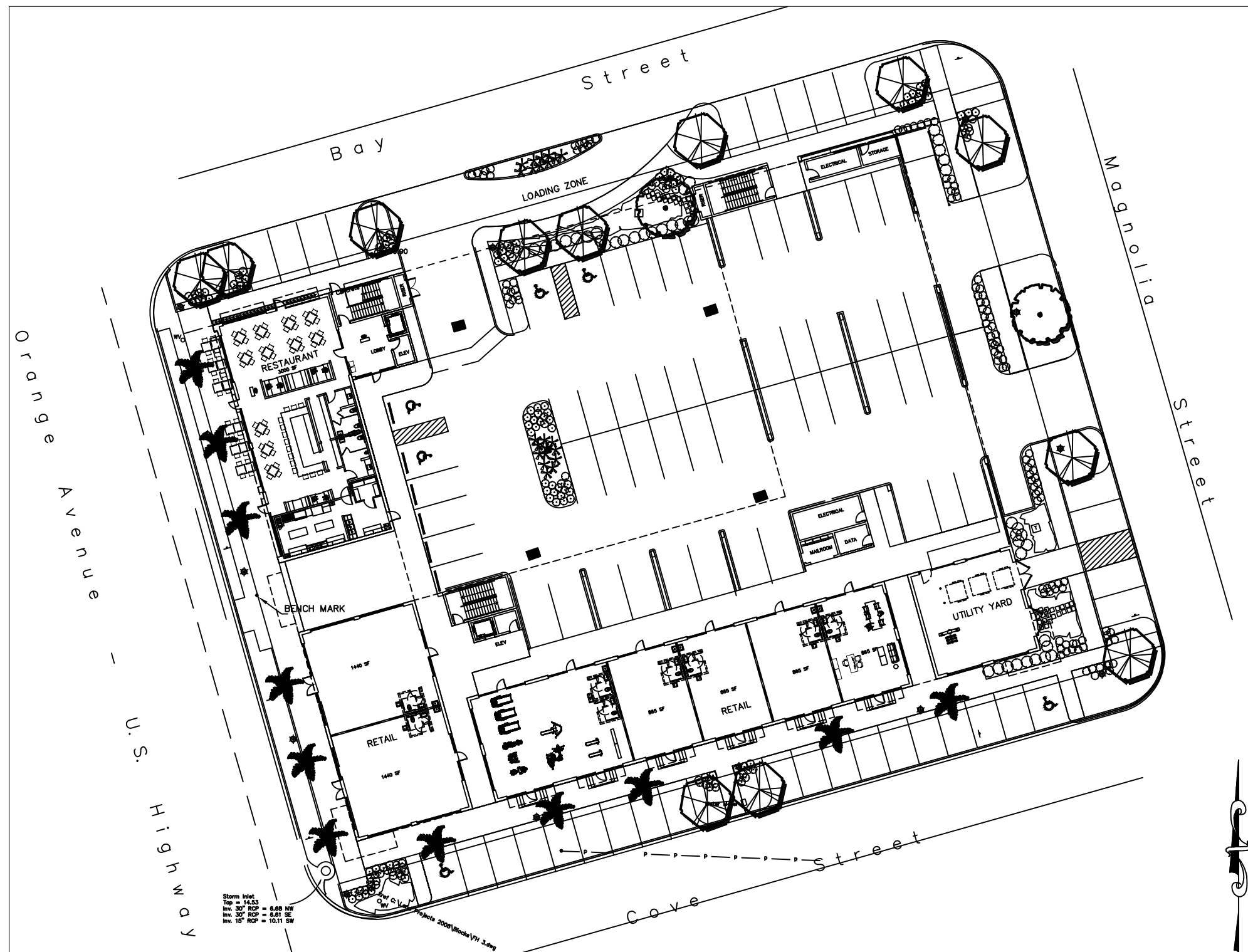
PARKING STUDY- EXISTING CONDITIONS

Parking determination - Pre-lude Green Cove Springs

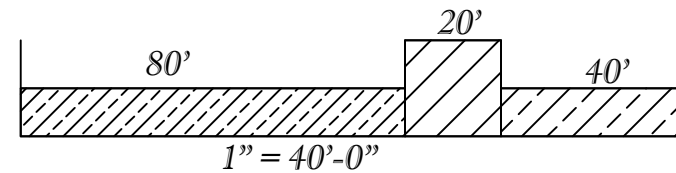
	Unit	Per Code	
Restaurant	1741	65	26.78462
Office -Retail space	8064	250	32.256
Apartments			
Efficient	16	1	16
1 bed	24	1.5	36
2 bed	4	2	8
Visitor			2
			121.0406

	Alternative			
Morning and afternoon				
Restaurant	1741	65	26.78462	
Office -Retail space	8064	250	32.256	
Apartments	30%		15	
Parking requirements-			74.04062	
Evening - 9:00-				
Restaurant	1400	65	21.53846	
Reduction for apartment-2nd floor???			-10	
			21.53846	
Commercial	8064	10%	3.2256	
Apartments	95%		47.5	
Parking requirements-			83.80252	
Overnight				
Restaurant	1741	65	5%	1.076923
Commercial	8064	0%		0
Apartments				
Efficient	16	1	16	
1 bed	24	1	24	
2 bed	4	2	8	
Visitor			2	
Parking requirements-			51.07692	

Commercial- 1 per 250
1 space per 65 sf Dining area



PARKING ANALYSIS





FOR OFFICE USE ONLY

P Z File # _____

Application Fee: _____

Filing Date: _____ Acceptance Date: _____

Review Date: SRDT _____ P & Z _____ CC _____

Small Scale Future Land Use Map Amendment Application

A. PROJECT

- Project Name: Prelude Building complex
- Address of Subject Property: 310 Orange Ave
- Parcel ID Number(s): 38-06-26-017311-000-00,
- Existing Use of Property: Vacant
- Future Land Use Map Designation: Institution and Commercial High Intensity
- Existing Zoning Designation: Gateway Corridor
- Proposed Future Land Use Map Designation: Commerical high intensity - Central Business District
- Acreage (must be 10 acres or less): .31 ac 53,400 squarefeet

[Handwritten signatures and dates: 9/19]

B. APPLICANT

- Applicant's Status Owner (title holder) Agent
- Name of Applicant(s) or Contact Person(s): Kelly Hartwig Title: Agent
 Company (if applicable): Cypress Managment and Design
 Mailing address: PO Box 8880
 City: Fleming Island State: Florida ZIP: 32006
 Telephone: () 759-9576 FAX: () _____ e-mail: siteopt@bellsouth.net
- If the applicant is agent for the property owner*
 Name of Owner (title holder): Brian and Jennifer Knight
 Mailing address: 687 Arthur Moore Dr,
 City: GCS State: FI ZIP: 32043
 Telephone: () _____ FAX: () _____ e-mail: _____

* Must provide executed Property Owner Affidavit authorizing the agent to act on behalf of the property owner.

C. ADDITIONAL INFORMATION

- Is there any additional contact for sale of, or options to purchase, the subject property?
 Yes No If yes, list names of all parties involved:
 If yes, is the contract/option contingent or absolute?
 Contingent Absolute

D. ATTACHMENTS

- 1. Statement of proposed change, including a map showing the proposed Future Land Use Map change and Future Land Use Map designations on surrounding properties
- 2. A map showing the zoning designations on surrounding properties
- 3. A current aerial map (Maybe obtained from the Clay County Property Appraiser.)
- 4. Plat of the property (Maybe obtained from the Clay County Property Appraiser.)
- 5. Legal description with tax parcel number.
- 6. Boundary survey
- 7. Warranty Deed or the other proof of ownership
- 8. Fee.

a. \$750

b. All applications are subject 10% administrative fee and must pay the cost of postage, signs, advertisements and the fee for any outside consultants.

No application shall be accepted for processing until the required application fee is paid in full by the applicant. Any fees necessary for technical review or additional reviews of the application by a consultant will be billed to the applicant at the rate of the reviewing entity. The invoice shall be paid in full prior to any action of any kind on the development application.

All 8 attachments are required for a complete application. A completeness review of the application will be conducted within five (5) business days of receipt. If the application is determined to be incomplete, the application will be returned to the applicant.

I/We certify and acknowledge that the information contained herein is true and correct to the best of my/our knowledge:

[Handwritten Signature]

Signature of Applicant

Signature of Co-applicant

Kelly Hartwig
Typed or printed name and title of applicant

Typed or printed name of co-applicant

9/13/2021
Date

Date

State of FL County of Clay

The foregoing application is acknowledged before me this 13 day of Sept, 2021 by Kelly

Hartwig, who is/are personally known to me, or who has/have produced FLDL as identification.

NOTARY SEAL
[Handwritten Signature]

Signature of Notary Public, State of FL





Item # 2.

FOR OFFICE USE ONLY

P Z File # _____

Application Fee: _____

Filing Date: _____ Acceptance Date: _____

Review Date: SRDT _____ P & Z _____ CC _____

Rezoning Application

A. PROJECT

- Project Name: Prelude Building complex
- Address of Subject Property: 310 Orange Ave
- Parcel ID Number(s): 38-06-26-017311-000-00, 017310,017312,017313
- Existing Use of Property: Vacant
- Future Land Use Map Designation: COMMERCIAL
- Existing Zoning Designation: Gateway corridor
- Proposed Zoning Designation: Central Business District
- Acreage: 53,400 sf

B. APPLICANT

- Applicant's Status Owner (title holder) Agent
- Name of Applicant(s) or Contact Person(s): Kelly Hartwig Title: Agent
 Company (if applicable): Cypress Managment and Design
 Mailing address: PO Box 8880 ,
 City: Fleming Island State: FI ZIP: 32006
 Telephone: () _____ FAX: () _____ e-mail: Siteopt@bellsouth.net
- If the applicant is agent for the property owner*
 Name of Owner (titleholder): Brian and jennifer Knight
 Mailing address: 687 Arthur Moore Dr,
 City: Green Cove Springs State: FI ZIP: 32043
 Telephone: () _____ FAX: () _____ e-mail: _____

* Must provide executed Property Owner Affidavit authorizing the agent to act on behalf of the property owner.

C. ADDITIONAL INFORMATION

- Is there any additional contact for sale of, or options to purchase, the subject property?
 Yes No If yes, list names of all parties involved:
 If yes, is the contract/option contingent or absolute?
 Contingent Absolute

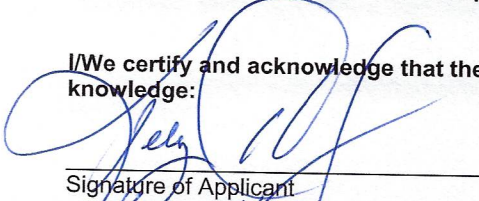
D. ATTACHMENTS

1. Statement of proposed change, including a map showing the proposed zoning change and zoning designations on surrounding properties
2. A current aerial map (Maybe obtained from the Clay County Property Appraiser.)
3. Plat of the property (Maybe obtained from the Clay County Property Appraiser.)
4. Legal description with tax parcel number.
5. Boundary survey
6. Warranty Deed or the other proof of ownership
7. Fee.
 - a. \$750 plus \$20 per acre over 5
 - b. All applications are subject 10% administrative fee and must pay the cost of postage, signs, advertisements and the fee for any outside consultants.

No application shall be accepted for processing until the required application fee is paid in full by the applicant. Any fees necessary for technical review or additional reviews of the application by a consultant will be billed to the applicant at the rate of the reviewing entity. The invoice shall be paid in full prior to any action of any kind on the development application.

All 7 attachments are required for a complete application. A completeness review of the application will be conducted within five (5) business days of receipt. If the application is determined to be incomplete, the application will be returned to the applicant.

I/We certify and acknowledge that the information contained herein is true and correct to the best of my/our knowledge:



Signature of Applicant

Signature of Co-applicant

Kelly Hartwig - Agent
Typed or printed name and title of applicant

Typed or printed name of co-applicant

9/9/2021
Date

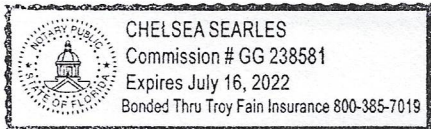
Date

State of Florida County of Clay

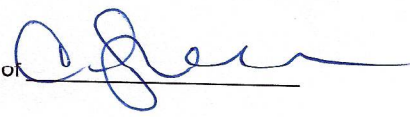
The foregoing application is acknowledged before me this 9 day of September, 2021, by Kelly

Hartwig, who is/are personally known to me, or who has/have produced FL DL #632519594690 as identification.

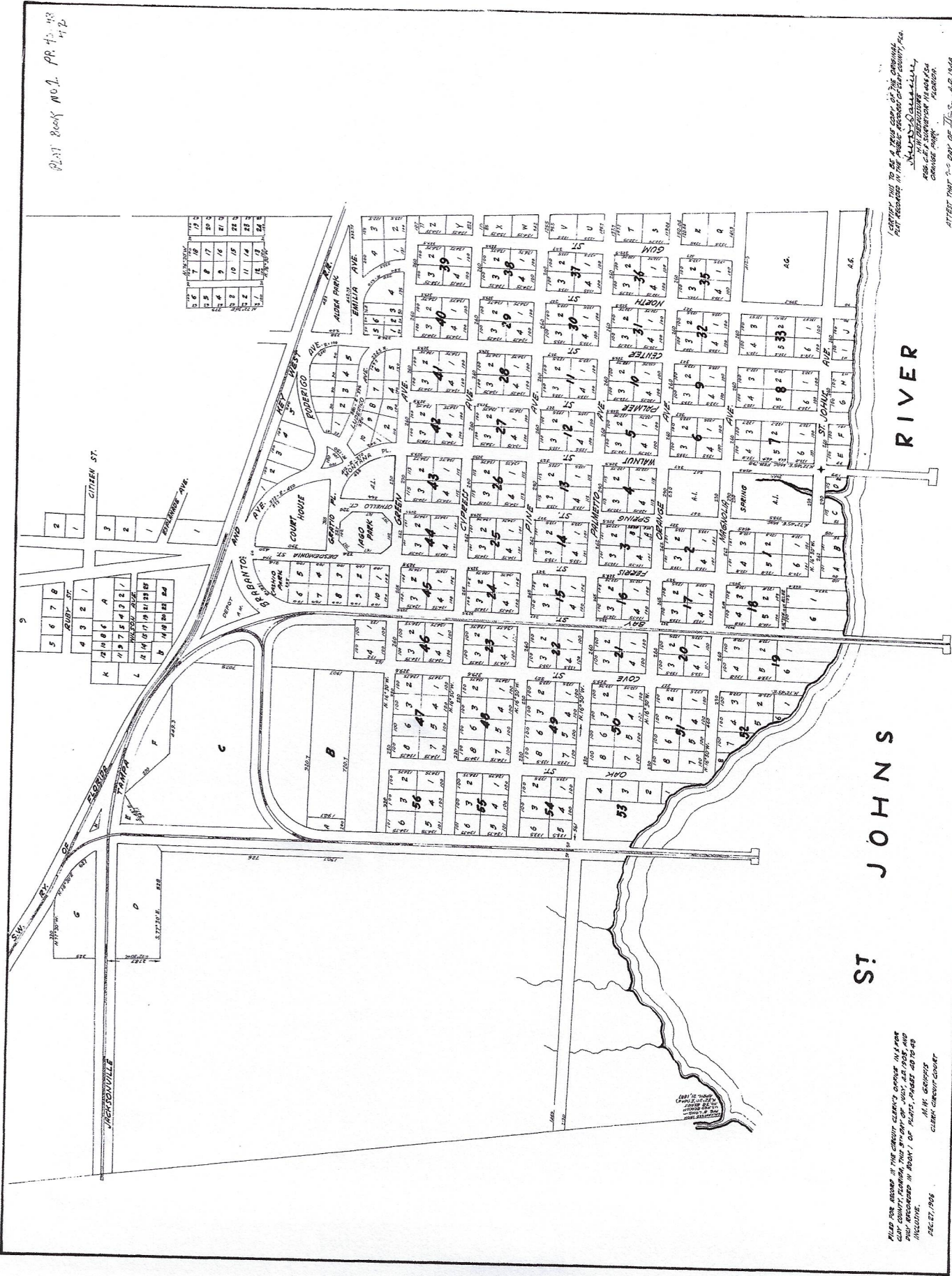
NOTARY SEAL



Signature of Notary Public, State of FL



Plot Book No. 1. Pp. 43, 44, 45



FOR THE PURPOSE OF THIS MAP, THE ORIGINAL RECORDS IN THE PUBLIC RECORDS OF DADE COUNTY, FLA., HAVE BEEN REPRODUCED BY THE CLERK OF DADE COUNTY, FLA., AND THE CLERK OF DADE COUNTY, FLA., HAS ATTESTED THAT THIS IS A TRUE COPY OF THE ORIGINAL RECORDS IN THE PUBLIC RECORDS OF DADE COUNTY, FLA.

REC. 27, 1906
 M. W. GRIFFIN
 CLERK OF DADE COUNTY

MAP FOR RECORD IN THE CLERK'S OFFICE IN JACKSONVILLE, FLA., THIS 27th DAY OF JULY, 1906, AND FOR RECORD IN BOOK 1 OF PLATS, PLATS 40 TO 49 INCLUSIVE.

REC. 27, 1906
 M. W. GRIFFIN
 CLERK OF DADE COUNTY

CYPRESS MANAGEMENT AND DESIGN

P.O. Box 8880
Fleming Island, Florida
32006

MEMO

City of Green Cove Springs

9/8/2021

Development services
321 Walnut street
Green Cove Springs, Fl. 32043

Atten Mike Daniels

310 Orange Ave

We are requesting a change of zoning from Downtown gateway corridor to Central Business District.

Our project is a multi-story, mixed use project. The property to the north is zoned central business district. This project will make a major impact on the future of downtown green cove. By introducing residential units downtown with commercial and restaurant space we hope to further enhance a walking community. The central business zoning provides codes and regulations which match our goals and the goals of downtown.

Kelly Hartwig

Prepared by and return to:
Peek & Miska
200 E. Forsyth St
Jacksonville, FL 32202
Property Appraiser's ID #:
38062601731300000
38062601731000000

SPECIAL WARRANTY DEED

THIS INDENTURE made to be effective as of the 25th day of March, 2021, between **Marjorie B. Wood, aka Marjie B. Wood** ("Grantor"), and **Brian Knight and Jennifer Knight**, a married couple, whose address is 687 Arthur Moore Dr, Green Cove Springs, FL 32043 (collectively "Grantees").

WITNESSETH:

That Grantor, in consideration of One Dollars (\$1.00) and other valuable considerations paid by Grantee, the receipt and sufficiency of which are hereby acknowledged, has granted, bargained and conveyed to Grantee, its successors and assigns forever, the following described lands, situate, lying and being in the County of Clay, State of Florida to-wit:

See Exhibit A, attached hereto.

Subject to covenants, restrictions, easements, mortgages and all other encumbrances of record and taxes assessed subsequent to December 31, 2020; provided however, this reference will not serve to reimpose any such covenants, restrictions or easements.

And Grantor does hereby fully warrant the title to the property and will defend the same against the lawful claims of all persons whomsoever, claiming by, through or under Grantor, but not otherwise.

Signatures appear on following page

IN WITNESS WHEREOF, the Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of: **GRANTOR:**

Jessica Baird
Name: JESSICA BAIRD

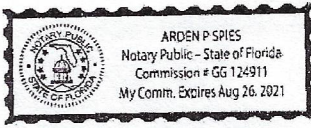
Shelby Neitzel
Name: Shelby Neitzel

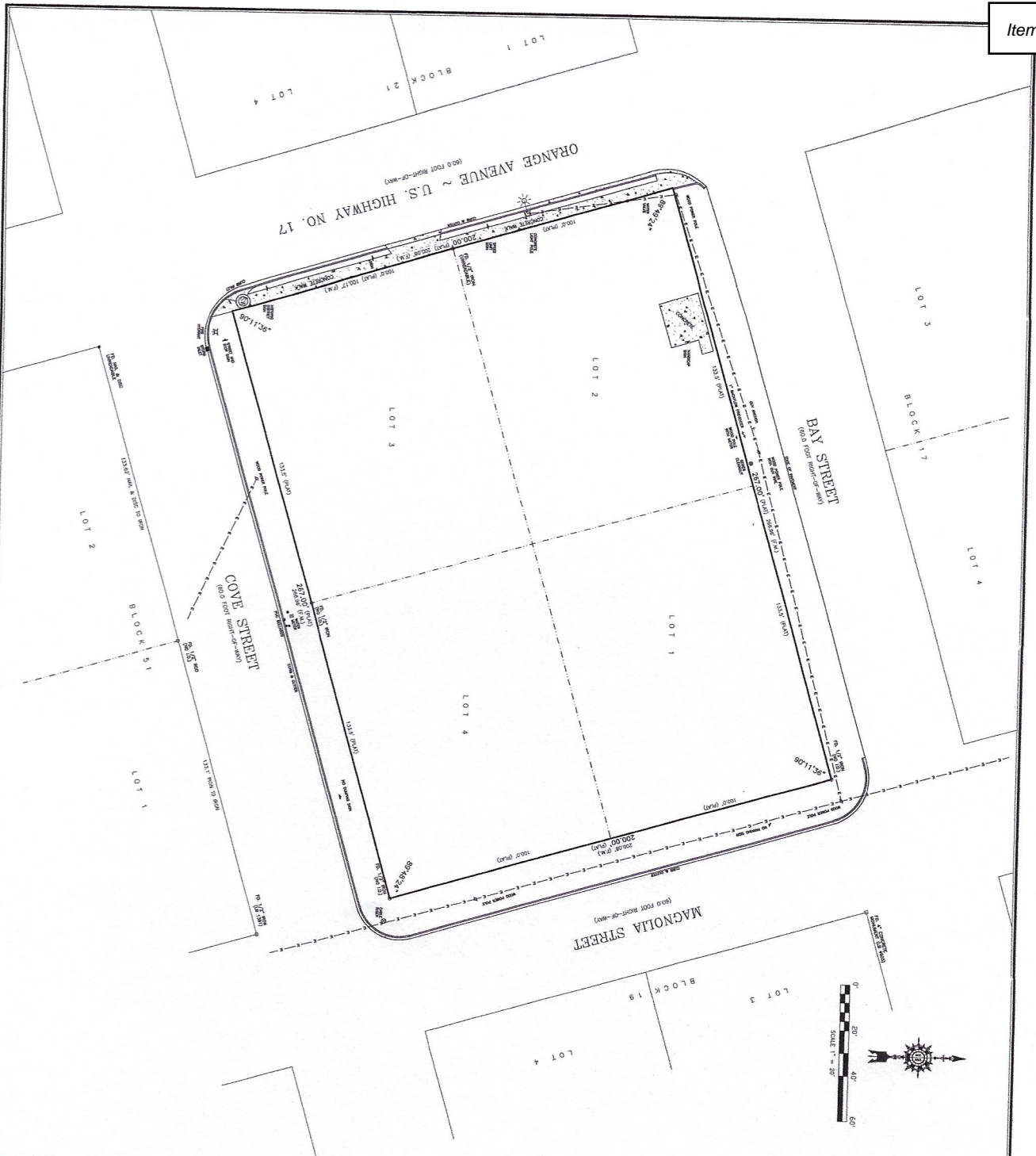
Marjorie B Wood
Marjorie B. Wood

STATE OF FLORIDA
COUNTY OF St. Johns

The foregoing instrument was acknowledged before me this 25 day of March, 2021 in person or ___ by remote online notarization, by Marjorie B. Wood, who is personally known to me or who has produced ___ as identification.

Arden P Spies
Name: Arden P. Spies





MAP SHOWING SURVEY OF
 LOTS 1, 2, 3 AND 4, BLOCK 20, GREEN COVE SERIES, ACCORDING TO THE PLAN THEREOF RECORDED
 IN PLAT BOOK 1, PAGE 46 OF THE PUBLIC RECORDS OF CLAY COUNTY,
 CERTIFIED TO: BRIAN AND JENNIFER KNIGHT

ADDITIONAL GENERAL NOTES:

- 5) DESCRIPTION PROVIDED BY THE APPLICANT.
- 6) THIS IS A SURVEY ONLY; THE EXISTENCE OR NON-EXISTENCE OF UTILITIES AND UNDERGROUND UTILITIES IS NOT DETERMINED.
- 7) JURISDICTIONAL AND/OR ENVIRONMENTALLY SENSITIVE AREAS, IF ANY, ARE NOT DETERMINED.
- 8) LOTS SHOWN CONTAIN 504135 SQUARE FEET AND/OR 11.22 ACRES.

LEGEND	
—	CONCRETE BOUNDARY
—	EXISTING DITCH
—	EXISTING TRAIL
—	EXISTING DRIVE
—	EXISTING FENCE
—	EXISTING UTILITY
—	EXISTING WALL

ECK LAND SURVEYORS, INC.
 REGISTERED PROFESSIONAL SURVEYORS
 1010 S. BROADWAY, SUITE 100
 MEMPHIS, TENNESSEE 38102
 PHONE: (901) 253-1234 FAX: (901) 253-1235
 WWW.ECKLANDSURVEYORS.COM

GENERAL NOTES:
 1) THIS IS A BOUNDARY SURVEY.
 2) THE EXISTENCE OR NON-EXISTENCE OF UTILITIES AND UNDERGROUND UTILITIES IS NOT DETERMINED.
 3) THIS SURVEY IS BASED ON THE INFORMATION PROVIDED BY THE APPLICANT.
 4) THE APPLICANT REPRESENTS THAT THE INFORMATION PROVIDED IS TRUE AND CORRECT.
 5) THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE PROPERTY AND HAS FOUND NO EVIDENCE OF ADVERSE CLAIMS.
 6) THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE PROPERTY AND HAS FOUND NO EVIDENCE OF ADVERSE CLAIMS.

DATE OF RECORD: 12/15/2015
 DRAWN BY: J. G. E. (901) 253-1234
 CHECKED BY: J. G. E. (901) 253-1234

EXHIBIT A

Legal Description

Parcel 1:

The West 1/2 of Lot 3, Block 20, Green Cove Springs, according to plat thereof as recorded in Plat Book 1, Page 40, of the public records of Clay County, Florida.

Parcel 2:

Lots 1 and 4, Block 20, Green Cove Springs, according to plat thereof as recorded in Plat Book 2, page 1, public records of Clay County, Florida.



STAFF REPORT

CITY OF GREEN COVE SPRINGS, FLORIDA

TO: Planning and Zoning Commission **MEETING DATE:** October 26, 2021
FROM: Michael Daniels, Planning and Zoning Director
SUBJECT: Review of Site Development application for The Vineyard Transitional Center located at 518 N Pine Ave

PROPERTY DESCRIPTION

APPLICANT: True Vine Fellowship **OWNER:** True Vine Fellowship
PROPERTY LOCATION: 518 N Pine Ave
PARCEL NUMBER: 017656-000-00 and 017659-000-00
FILE NUMBER: SPL-21-003
CURRENT ZONING: Proposed for Institutional (INS) (currently C-2, General Business)
FUTURE LAND USE DESIGNATION: Proposed for Institutional (INS) (proposed currently Commercial High Intensity)

SURROUNDING LAND USE

<p>NORTH: FLU: Commercial High Intensity (CHI) ZONING: C-2 Use: Single Family Residential</p>	<p>SOUTH: FLU: CHI Z: C-2 Use: Church</p>
<p>EAST: FLU: Commercial Medium Intensity (CMI) Z: Gateway Corridor Neighborhood (GCN) Use: Undeveloped</p>	<p>WEST: FLU: CHI Z: C-2 Use: Undeveloped</p>

BACKGROUND

The applicant is currently undergoing a Future Land Use Amendment and Rezoning to change the property to an Institutional land use and zoning district and has been approved for a Special Exception in order to have an emergency shelter pursuant to the requirements in City Code Sec. 117-796. The final decisions on the Future Land Use and Zoning applications will be rendered at the November 2nd Council meeting at the second reading of the ordinances.

Meanwhile, the Site Plan was received in September for review. Please note, the site development plan indicates the site area is 0.585 acres, but it is only 0.433 acres, which has been confirmed with Charles Sohm, Toco Engineering. The correction will be made on the plan along with any other required corrections.

DEVELOPMENT DESCRIPTION

The property consists of 0.433 acres with two existing buildings – (1) a one-story masonry building with 4,260 square feet and (2) a one-story masonry building with 811 square feet. The applicant proposes to use the smaller building as an office space and the larger building as a transitional living facility with 8 suites, an office, lobby / reception area, a laundry room, kitchen, and gathering room. Each suite has its own restroom and there is one accessibly designed suite, as well as an ADA toilet available from the hallway for any guests to use.

Building permits will be obtained to renovate the spaces as required.

PARKING

The plan shows 13 parking spaces plus 1 handicapped parking space. Per code they are required to have 12 parking spaces and 1 handicapped space.

DRAINAGE RETENTION

Due to the size of the proposed development, the applicant is going to apply for a waiver from the from the Water Management District from the stormwater requirements. That said, the applicant will provide a small retention pond in the rear of the property to ensure compliance with the City Comprehensive Plan requirements that post retention runoff shall be reduced from pre retention runoff.

TRAFFIC AND ACCESS

Access will be provided off Pine Avenue. There will be minimal traffic to this location. As part of the site development, a 6' sidewalk shall be constructed from the property line to the southwestern side office building as well as from the parking lot to the northeastern side of the office building.

UTILITY CONNECTIONS AND SOLID WASTE

The buildings are connected to City Water and Sewer. The existing septic tanks on the site are not active and shall be removed. An on-site dumpster shall be provided.

LANDSCAPE PLAN

The plan is showing the installation of 8 shade trees. The existing landscape buffer at the north and northwest property line shall be preserved.

COMPLIANCE WITH SEC. 117-796 – EMERGENCY SHELTERS

(a) An emergency shelter shall be permitted in the Institutional Zoning District as a special exception, subject to the following provisions:

(1) A minimum of 300 square feet of private indoor living space shall be provided for each occupant of a structure.

The previously provided conceptual floor plan does not provide the unit size, but the applicant indicated all parts of this section would be abided as part of their special exception application. At the time of building permit, they will have to provide a finalized floor plan showing compliance with this item.

(2) Minimum parking requirements shall be as follows:

a. One parking space for each three beds; and

For 8 beds, they must have three parking spaces.

b. One parking space for each employee.

There are 13 total parking spaces, three of which are required for the guests, leaving 10 spaces for employees, plus an ADA space.

(3) All structures shall meet the city building code requirements, life safety code requirements, and housing code requirements pertaining to the intended use.

This will be determined at the time of building permit.

(4) If a license to operate the facility is required by federal, state or local law, the applicant must either be in possession of such a license to operate such a facility or be in the posture to receive a license. Under no circumstances will permits or occupational licenses be issued by any city department until such license is presented to the building official.

The applicant must receive a license pursuant to Florida Administrative Code (FAC) G2.002, to the best of staff knowledge, as well as passing requisite county health department inspections. Minimally, a business tax receipt and possibly a Certificate of Occupancy shall not be provided until such items are complete. A temporary Certificate of Occupancy could be provided up to the point in time assurance is received that the license has been issued.

(5) No emergency shelter shall be located within 1,000 feet of any other emergency shelter. The distance requirements between two emergency shelters shall be measured from property line to property line.

No other emergency shelter exists in town at this time.

(6) The planning and zoning commission may place any reasonable special conditions, in addition to those provided in this subsection, on the special exception to ensure that the proposed use conforms with the character of the surrounding neighborhood; especially concerning: the prevailing dwelling unit density, the anticipated number of nonresident employees, lighting, service facilities, the background and history of the applicant/organization, approval can be limited to the owner/applicant, the type of activities and time limits regarding outdoor activities. In addition, the planning and zoning commission can evaluate and limit approval to the applicant/organization.

The following conditions were required by the Planning and Zoning Commission at the September 28th meeting:

1. Approval of the Special Exception is limited to the applicant / owner: John Sanders/The Vineyard. Any transfer of ownership will require a new Special Exception application.
2. Post the responsible party contact information at a visible location in the front interior of both buildings.
3. The maximum number of transitional housing units shall be limited to 8 units.
4. All outdoor activities shall be limited to no later than 8:00 pm.
5. Approval of the Special Exception is contingent upon the approval of the Future Land Use and Zoning Amendments by City Council.

(7) An emergency shelter shall adhere to all site plan requirements as per article IV of this chapter.

The site development plan has been reviewed by staff and the outstanding comments are enclosed.

(8) This special exception shall be limited to the proposed applicant or owner to whom the special exception is granted and shall be subject to the requirements of this subsection. Any changes in ownership or to the use of the property will require a new special exception application.

This requirement was a condition of the SE approval.

(b) *Emergency shelter responsible party.*

(1) The purpose of the responsible party is to respond to routine inspections, non-routine complaints, and other more immediate problems related to the emergency shelter of the property.

(2) The property owner shall serve in this capacity or shall otherwise designate in writing to the city an emergency shelter responsible party to act on the property owner's behalf. Any person 18 years of age or older may be so designated provided they can perform the duties listed in subsection (c).

(3) The duties of the emergency shelter responsible party, whether the party is a property owner or an agent, are to:

a. Be available at a listed phone number 24 hours a day, seven days a week and capable of legally handling any issues arising from the emergency shelter use;

b. Ensure all tenants have undergone a police background check. Individuals found guilty of violent crimes are prohibited from being tenants in an emergency shelter regardless of the length of stay. Failure to comply with this requirement shall result in revocation of the business tax receipt;

c. Ensuring sexual offenders/predators as defined in F.S. §§ 775.21, 943.0435, 944.607, or 985.4815 register at the Clay County Sheriff's Office and the Green Cove Springs Police Department, following the process set forth in F.S. § 775.21, 48 hours prior to arrival at an emergency shelter, regardless of the length of stay. The property owner or agent shall comply with F.S. § 775.215, as amended from time to time, pertaining to the distance separation of homes with a sexual offender/predator residing within the emergency shelter and any business, school, child care facility, park, playground, or other places where children regularly congregate. Failure to comply with this requirement shall result in revocation of the business tax receipt.

The responsible party (John Sanders) will be noted minimally in the Business Tax Receipt File and is in alignment with state requirements for licensing of the facility.

Attachments Include:

1. Special Exception Staff Report
2. Submitted Site Development Plan and Landscape Plan
3. Conceptual Floor Plan
4. Outstanding Staff Comments

STAFF RECOMMENDATION

Staff recommends approval of the proposed Site Development Plan on the condition that the site plan is revised to address the outstanding staff comments prior to the approval by City Council.

RECOMMENDED MOTIONS:**Site Development Plan**

Motion to recommend to City Council the approval of Vineyard Transition Center Site Development Plan on the condition that the site plan is revised to address the outstanding staff comments prior to the approval by City Council.



STAFF REPORT

CITY OF GREEN COVE SPRINGS, FLORIDA

TO: Planning and Zoning Commission **MEETING DATE:** September 28, 2021

FROM: Michael Daniels, AICP, Planning & Zoning Director

SUBJECT: Special Exception Request for the Development an Emergency Shelter on property located at 518 N Pine Avenue

PROPERTY DESCRIPTION

APPLICANT: John Sanders **OWNER:** The Vineyard

PROPERTY LOCATION: 518 Pine Avenue

PARCEL NUMBER: 017636-000-00 & 017639-000-00

FILE NUMBER: FLUS-21-0004 & ZON-21-0004

CURRENT ZONING: C-2, General Commercial*

FUTURE LAND USE DESIGNATION Commercial High Intensity*

*A companion application to amend the Future Land Use and Zoning to Institution for the subject has been filed under separate application.

SURROUNDING LAND USE

NORTH: **FLU:** Commercial High Intensity (CHI)
Z: C-2
Use: Single Family Residential

SOUTH: **FLU:** CHI
Z: C-2
Use: Church

EAST: **FLU:** Commercial Medium Intensity (CMI)
Z: Gateway Corridor Neighborhood (GCN)
Use: Undeveloped

WEST: **FLU:** CHI
Z: C-2**Use:** Undeveloped

BACKGROUND

Existing Property Description

The property has two dilapidated structures on the property that are currently boarded and in disrepair. The site is sparsely wooded with hardwood trees to the east of the property and a palm tree between the building and the road. There is a concrete wall and concrete pavement area on the north side of the building and two septic tanks to the rear of the buildings which are no longer in use.

Proposed Development Plan

The application is proposing to redevelop the site as an Emergency Shelter. An Emergency Shelter is defined below:

a facility providing short-term housing not to exceed 90 consecutive days per person within a year, for one or more individuals who are otherwise homeless. Facility will be prohibited from housing individuals convicted of violent crimes. Ancillary activities may include:

- *Onsite counseling services;*
- *Onsite career and life skills training;*
- *Onsite benefits application assistance (social security, food stamps, Medicare etc.).*

The applicant is proposing to rehabilitate the existing 4,260 square feet northern building to provide for:

- 8 transitional housing units and accessory uses
- Counseling service offices
- Outside tables for gathering will be provided on the north side of the building.

13 parking spaces shall be provided on the southern portion of the lot, in compliance with parking requirements of City Code requirements.

All site development requirements of the City Code shall be complied with including site plan, utility connections and landscaping pursuant to the City Code requirements. In addition, the building plans shall be permitted with City Code and Florida Building Code requirements.

The site will be served by the city water, sewer, electric and sanitation services.

Special Exception Review Criteria

When deciding requests for special exceptions, the planning and zoning board shall make written findings that the special exception satisfied the following criteria:

- 1) Compliance with all elements of the comprehensive plan.
The proposed plan is consistent with Future Land Use Objective 1.6.1 (d)): "This category consists of civic, cultural, government, religious, utilities, and other public necessity uses"
- 2) The establishment, maintenance or operation of the special exception will not be detrimental to or endanger the public health, safety or general welfare, and is not contrary to established standards, regulations or ordinances of other governmental agencies.

Sec. 117-796 of the City Code was adopted in order to ensure that Emergency Shelters are operated to require that they do not endanger the general welfare and particularly of the surrounding areas. The following requirements will be met regarding the development:

- All structures shall meet the city building code requirements, life safety code requirements, and housing code requirements pertaining to the intended use.
- No emergency shelter shall be located within 1,000 feet of any other emergency shelter. The distance requirements between two emergency shelters shall be measured from property line to property line.
- John Sanders has been named the responsible party for the development and he is responsible for the following:

respond to routine inspections, non-routine complaints, and other more immediate problems related to the emergency shelter of the property.

- *Be available at a listed phone number 24 hours a day, seven days a week and capable of legally handling any issues arising from the emergency shelter use;*
- *Ensure all tenants have undergone a police background check. Individuals found guilty of violent crimes are prohibited from being tenants in an emergency shelter regardless of the length of stay. Failure to comply with this requirement shall result in revocation of the business tax receipt;*
- *Ensuring sexual offenders/predators as defined in F.S. §§ 775.21, 943.0435, 944.607, or 985.4815 register at the Clay County Sheriff's Office and the Green Cove Springs Police Department, following the process set forth in F.S. § 775.21, 48 hours prior to arrival at an emergency shelter, regardless of the length of stay. The property owner or agent shall comply with F.S. § 775.215, as amended from time to time, pertaining to the distance separation of homes with a sexual offender/predator residing within the emergency shelter and any business, school, child care facility, park, playground, or other places where children regularly congregate. Failure to comply with this requirement shall result in revocation of the business tax receipt.*

- 3) Each structure or improvement is so designed and constructed that it is not unsightly, undesirable or obnoxious in appearance to the extent that it will hinder the orderly and harmonious development of the city and the zoning district in which it is proposed.

Approving the development will allow for the rehabilitation of two declining structures. Both structures shall be required to meet the Florida Building Code Standards and City Site Development Regulations.

- 4) The special exception will not adversely impact the permitted uses in the zoning district nor unduly restrict the enjoyment of other property in the immediate vicinity nor substantially diminish or impair property values within the area.

Pursuant to the regulations set forth in Sec. 117-796 and the proposed conditions placed on the application, the proposed development will be consistent with the existing neighborhood and will not negatively impact the area.

- 5) The establishment of the special exception will not impede the orderly development and improvement of the surrounding property for uses permitted in the zoning district.

The proposed development will not impact the improvement of surrounding properties

- 6) Adequate water supply and sewage disposal facilities will be provided in accordance with state and county health departments.

Water and sewer are available

- 7) Adequate access roads, onsite parking, onsite loading and unloading berths, and drainage have been or will be provided where required.

Access shall be provided off of Pine Avenue and a driveway will need to be constructed with the building permit.

- 8) Adequate measures have been taken to provide ingress and egress to the property, which is designed in a manner to minimize traffic congestion on local roads.
Access shall be provided off of Pine Avenue. Additional traffic will be less than 10 peak hour trips.
- 9) Adequate screening and buffering of the special exception will be provided, if needed.
Screening is not required due to similar uses, however landscaping, including a canopy tree in the front yard on both units and proposed plantings shall be provided.
- 10) The special exception will not require signs or exterior lighting which will cause glare, adversely impact area traffic safety or have a negative economic effect on the area. Any signs or exterior lighting required by the special exception shall be compatible with development in the zoning district.
Exterior lighting, signage will not be included in the proposed development.
- 11) The special exception will conform to all applicable regulations of the zoning district in which it is proposed and all of the regulations set forth in Sec. 117-796.

Traffic Impact

Land Use ¹ (ITE)	Units	Daily		AM Peak		PM Peak	
		Rate	Trips	Rate	Trips	Rate	Trips
Proposed							
General Office (ITE 230)	0.8	11.01	3	1.49	1	1.49	1
Congregate Care Facility (ITE 254)	8	2.15	17	0.06	1	0.17	1
			20		2		2

1. Source: Institute of Transportation Engineers: Trip Generation Manual 8th Edition

Attachments include:

- 1. Geometry Plan
- 2. Draft Building Plan
- 3. Section 117-796 of the City Code Regarding Emergency Shelter Requirements
- 4. Special Exception Application

STAFF RECOMMENDATION

Staff recommends approval of SE21-001, to permit a Special Exception for an Emergency Shelter as defined by Section 101-5 and regulated by Sec. 117-796 subject to the following conditions:

- 1. Approval of the Special Exception is limited to the applicant / owner: John Sanders/The Vineyard. Any transfer of ownership will require a new Special Exception application.
- 2. Post the responsible party contact information at a visible location in the front interior of both buildings.
- 3. The maximum number of transitional housing units shall be limited to 8 units.
- 4. All outdoor activities shall be limited to no later than 8:00 pm.
- 5. Approval of the Special Exception is contingent upon the approval of the Future Land Use and Zoning Amendments by City Council.

Motion: To approve SE 21-001, to permit a Special Exception for an Emergency Shelter at 518 N Pine Avenue subject to the conditions provided in the Staff Report.

VINEYARD TRANSITIONAL CENTER

FOR

MR. JOHN SANDERS

518 PINE AVE. N., GREEN COVE SPRINGS, FL 32043

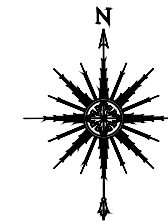
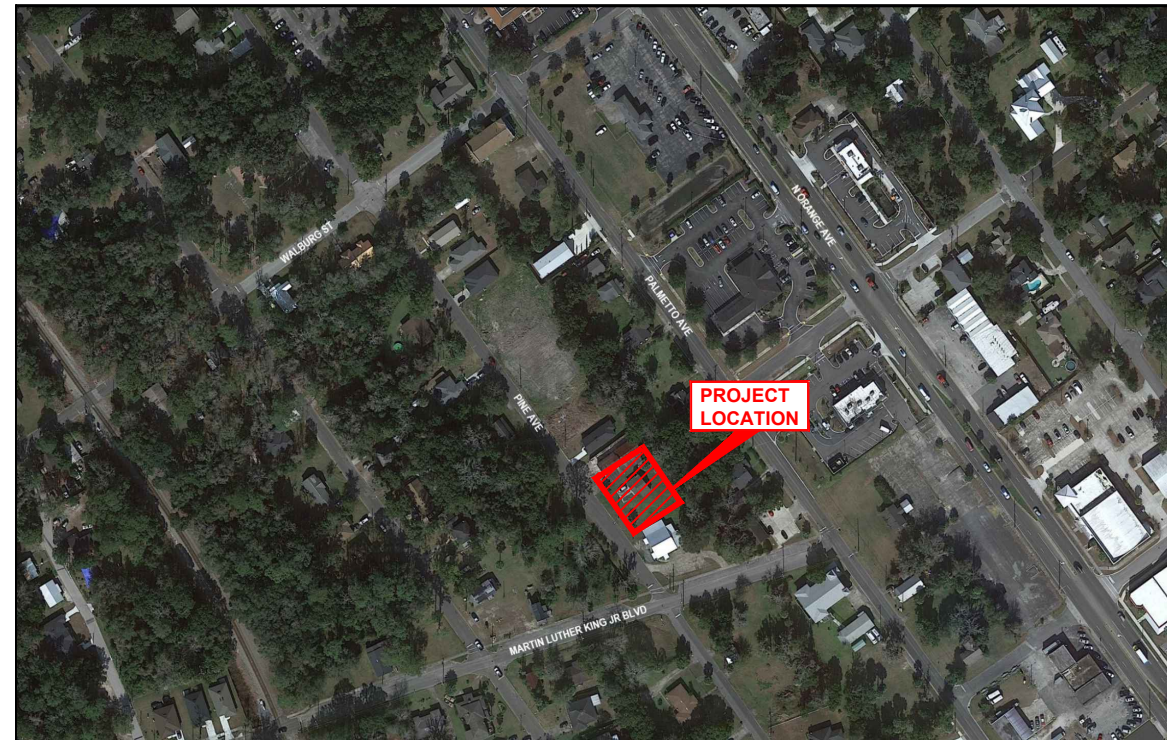
CLAY COUNTY

PROJECT OWNER AND CONSULTANTS

OWNER: Vineyard Transitional Center
John Sanders
518 Pine Avenue North
Green Cove Springs, FL 32043
TEL: 904-305-4641

SURVEYOR: Eiland and Associates, Inc
Harold Eiland
615 Blanding Boulevard
Orange Park, FL 32073
TEL: (904) 272-1000

ENGINEER: TocoI Engineering, LLC
Charles Sohm, P.E.
714 North Orange Avenue
Green Cove Springs, FL 32043
TEL: 904-215-1388

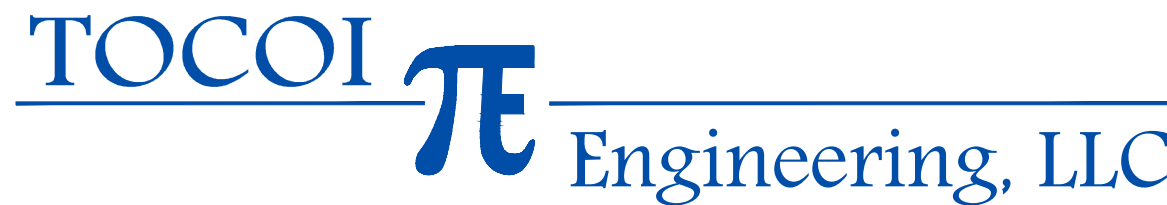


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- 11 SWPP CONTRACTOR REQUIREMENTS
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LOCATION MAP

N.T.S.



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TE JOB NO: 20-367

Charles Sohm, PE
Digitally signed by Charles Sohm, PE
Date: 2021.09.08 14:20:00 -04'00'
CHARLES SOHM, P.E.
FLA. REGISTERED ENGINEER, #79289

PRELIMINARY PLANS
SEPTEMBER 8, 2021

GENERAL NOTES:

- 1. ALL WORK AND MATERIALS SHALL BE IN COMPLETE ACCORDANCE WITH ALL RELATIVE SECTIONS OF THE CITY OF GREEN COVE SPRINGS (G.C.S.) & GREEN COVE SPRINGS PUBLIC WORKS (G.C.S.P.W.) STANDARDS, (LATEST REVISION) AND ALL CURRENT CITY & G.C.S.P.W. DETAILS AS WELL AS ALL APPLICABLE STATE AND LOCAL REGULATIONS. THE WORK SHALL ALSO BE PERFORMED AND TESTED IN ACCORDANCE WITH THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL INVESTIGATION REPORT PROVIDED BY XXXXXXXX XXXXXXXX PROJECT No. XXXXXXXX. IF MORE STRINGENT THAN CITY OF G.C.S. REQUIREMENTS.
2. ALL WORK SHALL BE PERFORMED IN A SAFE MANNER. ALL SAFETY RULES AND GUIDELINES OF O.S.H.A. SHALL BE FOLLOWED. THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR ANY INJURIES OF HIS EMPLOYEES, AND ANY DAMAGE TO PRIVATE PROPERTY OR PERSONS DURING THE COURSE OF THIS PROJECT. ALL COSTS ASSOCIATED WITH COMPLYING WITH O.S.H.A. REGULATIONS AND THE FLORIDA TRENCH SAFETY ACT MUST BE INCLUDED IN THE CONTRACTORS BID.
...
20. BURNING OF TREES, BRUSH AND OTHER MATERIAL SHALL BE APPROVED, PERMITTED AND COORDINATED WITH CITY OF G.C.S. FIRE MARSHAL.

- 21. ROADWAY UNDER DRAINS SHALL BE AS REQUIRED ON THE PLANS OR AS MAY BE DETERMINED NECESSARY BY THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF HIGH GROUND WATER CONDITIONS ARE PRESENT DURING THE PREPARATION OF THE ROADWAY SUB-BASE. CITY OF G.C.S. WILL RESERVE THE RIGHT TO REQUEST ADDITIONAL UNDER DRAIN AS DEEMED NECESSARY.
22. CONTRACTOR SHALL PROVIDE CONTRACTION JOINTS AT 10' INTERVALS AND EXPANSION JOINTS SHALL BE CONSTRUCTED AT 50' INTERVALS AND AT ALL RADIUS POINTS ON ALL CURBING.
23. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS AT 18' INTERVALS AND CONTRACTION JOINTS SHALL BE SPACED AT 6' INTERVALS BETWEEN EXPANSION JOINTS.
...
27. ALL EXISTING PAVEMENT MARKINGS THAT CONFLICT WITH THE PROPOSED ROADWAY/SITE DEVELOPMENT SHALL BE REMOVED BY THE CONTRACTOR UTILIZING THE HYDRO-BLASTING METHOD.

UTILITY NOTES:

- 1. THE LOCATION OF ALL EXISTING UTILITIES, STRUCTURES AND IMPROVEMENTS SHOWN ON THE DRAWINGS IS BASED ON LIMITED INFORMATION AND MAY NOT HAVE BEEN VERIFIED. THE LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL NOTIFY RESPECTIVE UTILITY OWNERS AND FIELD VERIFY LOCATIONS OF EXISTING UTILITIES AND OTHER IMPROVEMENTS PRIOR TO COMMENCING ANY CONSTRUCTION.
2. THE CONTRACTOR SHALL SUBMIT SHOP DRAWNGS ON ALL MATERIALS, IF REQUIRED, TO THE ENGINEER FOR REVIEW AND APPROVAL, PRIOR TO SUBMITTAL TO CITY OF G.C.S. & G.C.S.P.W., AND PRIOR TO PURCHASE OR CONSTRUCTION OF ANY UTILITY PIPE OR STRUCTURE.
...
16. ALL ELECTRIC CONDUIT WORK SHALL BE COMPLETED PRIOR TO THE PRESSURE TESTING OF WATER AND SEWAGE FORCE MAINS.

- 17. TELEVISION INSPECTION SHALL BE REQUIRED ON ALL GRAVITY SEWER MAINS. THIS SERVICE SHALL BE PROVIDED BY THE CONTRACTOR AS PART OF THE SANITARY SEWER CONTRACT. A FULL WRITTEN REPORT AS TO THE CONDITION OF THE PIPE WITH PERTINENT DATA SUCH AS DISTANCE BETWEEN MANHOLES, LOCATION OF SERVICES, ETC. SHALL BE SUBMITTED TO THE OWNER AND ENGINEER PRIOR TO ACCEPTANCE, AND ONE COPY OF THE VIDEO TAPE SHALL BE SUBMITTED TO CITY OF G.C.S.. ALL DEFECTIVE AREAS AND ITEMS SHALL BE REPLACED OR REPAIRED PRIOR TO FINAL ACCEPTANCE. ALL REPAIRED SECTIONS MUST BE REINSPECTED PRIOR TO ACCEPTANCE.
18. ALL NEW AND/OR RELOCATED WATER MAIN PIPES AND FITTINGS SHALL NOT CONTAIN MORE THAN EIGHT PERCENT LEAD AND ALL PACKING AND JOINT MATERIALS USED IN THE JOINTS SHALL CONFORM WITH ALL APPLICABLE AWWA STANDARDS. ALL NEW AND/OR RELOCATED WATER SERVICES AND PLUMBING SHALL CONTAIN NO MORE THAN EIGHT PERCENT LEAD AND ALL SOLDERS AND FLUX SHALL CONTAIN NO MORE THAN 0.2 PERCENT LEAD.
19. IF SOLVENT CONTAMINATION IS FOUND IN THE PIPE TRENCH, WORK SHALL BE STOPPED AND THE PROPER AUTHORITIES NOTIFIED. WITH APPROVAL OF THE PERMITTING AGENCY, DUCTILE FITTINGS AND SOLVENT RESISTANT GASKET MATERIAL SHALL BE USED IN THE CONTAMINATED AREA. THE DUCTILE IRON PIPE SHALL EXTEND AT LEAST 100 FEET BEYOND ANY SOLVENT NOTED.

Vertical sidebar containing registration information for Toccoi Engineering, LLC, including Florida Professional Engineer registration details for Charles South, project location at Vineyard Transitional Center for Green Cove Springs, Clay County, and sheet number 76.

REVISIONS table with columns for date, description, and initials.

Vertical text on the left margin: Date: 9/1/21 Time: 11:08 AM DWG Name: \\Tel-Vault\01Projects\20-367 Vineyard Transitional Center\03-CADD\20-367 GENERAL NOTES - GCS.dwg Layout: 2A

CITY GENERAL REQUIREMENTS:

1. CITY OF G.C.S. DEPARTMENT OF ENGINEERING REQUIRES TWENTY-FOUR (24) HOUR NOTICE ON ALL MEETINGS AND OR TESTING MEASURES RELATED TO SAID PROJECT.
2. CONSTRUCTION WARNING SIGNS ARE TO BE POST MOUNTED AND ERECTED BEFORE CONSTRUCTION CAN COMMENCE. THESE AND ALL TRAFFIC CONTROL DEVICES SHALL FOLLOW THE STANDARDS SET FORTH BY THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AS WELL AS THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD INDEXES.
3. ALL SUB BASE SHALL BE FIRM AND UNYIELDING.
4. ALL JOINTS OF PIPE, REGARDLESS OF MATERIAL TYPE, SHALL BE WRAPPED WITH FABRIC FILTER CLOTH PER FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD INDEX 280.
5. ALL DISTURBED CITY OF G.C.S. RIGHTS-OF-WAY SHALL BE SODDED TO THE DISCRETION AND APPROVAL OF THE CITY OF G.C.S. ENGINEERING DEPARTMENT.
6. THE CURB SHALL BE CHECKED FOR FLOW DESIGN AT ANY STAGE OF THE PROJECT. A WATER TRUCK IS TO BE PROVIDED AT THE FINAL INSPECTION IN ORDER TO CHECK FLOW DESIGN.
7. ALL UNDER DRAIN LINES SHALL HAVE A FORTY-FIVE DEGREE CLEAN OUT AT TWO HUNDRED FOOT (200') INTERVALS AND AT THE END OF THE RUN. THE CURB SHALL BE MARKED WITH TEAL OR HUNTER GREEN PAINT AS TO THE LOCATION OF THE CLEAN OUT.
8. HANDICAP RAMPS SHALL BE INSTALLED WHEREVER THE SIDEWALK MEETS THE CURB.
9. ALL INFORMATION REQUESTED BY THE CITY SHALL BE IN HAND AT THE TIME OF THE FINAL INSPECTION. NO CONDITIONAL CERTIFICATES OF OCCUPANCY SHALL BE GIVEN.
10. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO EXCAVATION AND TAKE ALL MEASURES NECESSARY TO PROTECT UTILITIES DURING CONSTRUCTION. SHOULD ANY UTILITY LINE OR COMPONENT BECOME DAMAGED OR REQUIRE RELOCATION THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE RESPONSIBLE UTILITY COMPANY, THE ENGINEER, AND THE CITY.
11. ALL SWALE SECTIONS ARE TO BE SODDED.
12. ALL DEVELOPER OR CONTRACTOR INSTALLED SIDEWALKS SHALL BE INSTALLED PRIOR TO THE FINAL INSPECTION.
13. A COPY OF THE CONTRACTORS' GENERAL LICENSE AND OR UNDER GROUND UTILITY LICENSE SHALL BE PROVIDED AT THE TIME OF THE PRE-CONSTRUCTION CONFERENCE.
14. ANY APPLICABLE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT (SJRWMD) OR FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) PERMITS SHALL BE PROVIDED TO THE CITY BY THE PRE-CONSTRUCTION CONFERENCE. NO WORK SHALL BEGIN WITHOUT ALL APPLICABLE PERMITS ON FILE.
15. THE CONTRACTOR MUST OBTAIN APPROVAL FROM THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT (SJRWMD) BEFORE THE CITY WILL ACCEPT THE PROJECT.
16. THERE SHALL BE A MINIMUM THREE (3) DAYS NOTICE GIVEN FOR SCHEDULING THE FINAL INSPECTION.
17. AT THE FINAL INSPECTION, A LETTER OF COMPLIANCE, PROVIDED BY THE CITY, WILL NEED TO BE FILLED OUT AND SIGNED THE STATE OF FLORIDA REGISTERED PROFESSIONAL ENGINEER OF RECORD.
18. FIVE (5) DAYS PRIOR TO THE FINAL INSPECTION TWO (2) SETS OF BLUE LINE AS-BUILTS AND ONE (1) COPY ON DISK IN AUTOCAD FORMAT SHOWING THE FOLLOWING SHALL BE SUBMITTED:

CITY EROSION CONTROL NOTES:

19. PURSUANT TO COMPREHENSIVE PLAN POLICY 9:1 OF THE CONSERVATION ELEMENT, THE USE OF ONE OR MORE EROSION CONTROL MEASURES, AS REQUESTED BY THE CITY OF G.C.S. ENGINEERING DEPARTMENT, SHALL BE USED DURING CONSTRUCTION. THESE WILL BE, BUT NOT LIMITED TO, ITEMS SUCH AS TEMPORARY GRASS COVER, SEDIMENT BASINS OR PONDS, MULCHING, TEMPORARY FENCES, DIVERSION CHANNELS AND HAY BALES.
20. PURSUANT TO COMPREHENSIVE PLAN POLICY 9:1 OF THE CONSERVATION ELEMENT, SCHEDULING OF CONSTRUCTION SHALL BE GIVEN SPECIAL CONSIDERATION TO MINIMIZE EXPOSURE OF BARE SOIL. THE CONTRACTOR WILL FORMULATE A CONSTRUCTION SCHEDULE TO BE GIVEN TO THE CITY REPRESENTATIVE.
21. THE CONTRACTOR SHALL CHECK EACH DAY TO INSURE THAT ALL EROSION CONTROL DEVICES ARE IN PLACE AND WORKING PROPERLY.
22. ALL EROSION CONTROL MEASURES SHALL BE IN COMPLIANCE WITH THE RULES, REGULATION AND STANDARDS OF THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT (SJRWMD), THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) AND THE UNITED STATES ARMY CORP OF ENGINEERS.

23. THE CONTRACTOR SHALL TAKE WHATEVER MEANS NECESSARY TO PREVENT THE EROSION OF SOIL AND DEPOSITION OF SEDIMENT ON ADJACENT AND DOWNSTREAM PROPERTIES.
24. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION.

CITY PUBLIC SAFETY NOTES:

25. BLUE, ALL-DIRECTIONAL HIGHWAY-STYLE REFLECTIVE MARKERS SHALL BE PROVIDED ON ALL ROADWAYS, ALLEYS, ACCESS ROADS AND ALL PAVED AREA IN FRONT OF EACH HYDRANT. SAID MARKERS SHALL BE LOCATED IN THE LANE OF TRAVEL ON THE SAME SIDE AS THE HYDRANT. THESE MARKERS SHALL BE IN PLACE AT THE TIME OF FINAL INSPECTION OR APPROVAL.
 26. A DISK SHALL BE PROVIDED, IN AUTOCAD FORMAT, SHOWING THE LOCATION OF ALL FIRE HYDRANTS BEFORE FINAL APPROVAL.
- PAVING, DRAINAGE AND CONSTRUCTION NOTES:
27. ALL UNSUITABLE MATERIAL SHALL BE REMOVED TWO FEET (2') BEYOND THE BACK OF CURB AND TWO FEET (2') BELOW FINISHED GRADE.
 28. COMPACTION DENSITIES FOR ALL ROADWAY CROSSINGS ARE TO BE TAKEN IN ONE-FOOT (1') LIFTS. STORM SEWER PIPE DENSITIES WILL START AT THE HAUNCHES OF THE PIPE AND BE TAKEN EVERY 6" UNTIL IT HAS REACHED 1' ABOVE THE PIPE.
 29. IF UNSUITABLE MATERIAL IS FOUND WITHIN THE LIMITS OF THE ROAD OR IF MATERIAL IS HAULED IN FOR ROADWAY FILL AT A DEPTH GREATER THAN ONE-FOOT (1') THEN THE ENTIRE ROADWAY SHALL BE UNDER DRAINED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT AND INSTALLED PER THE APPROVED CITY OF G.C.S. DETAIL.
 30. ALL STORM SEWER PIPES SHALL BE CUT FLUSH WITH THE INTERIOR WALL OF ANY TYPE MANHOLE OR CURB AND DITCH BOTTOM INLETS.
 31. COMPACTION DENSITY TESTS FOR ALL WATER AND SEWER CROSSINGS WILL START THREE FEET (3') ABOVE THE PIPE.
 32. COMPACTION DENSITY TESTS FOR ALL WATER AND SEWER CROSSINGS WILL START AT THE SPRING LINE OF THE PIPE.
 33. IF THE APPROVED DESIGN REQUIRED THE INLET OR STORM RUN TO BE SURCHARGED, ALL INLETS SHALL BE INSPECTED BEFORE BEING EXPOSED TO THE SYSTEM.
 34. TEST CYLINDERS SHALL RUN FOR ALL CONCRETE STRUCTURES. THERE WILL BE THREE (3) TESTS PER EACH DAY POUR WITH ONE (1) AT SEVEN (7) DAY BREAK, AND TWO (2) TWENTY-EIGHT (28) DAY BREAKS.
 35. THE ASPHALT SHALL BE CORED FOR THICKNESS AND WILL BE GIVEN A ONE-QUARTER INCH (1/4") TOLERANCE. IF HOWEVER THE CITY'S REPRESENTATIVE IS PRESENT AT POUR AND FEELS COMFORTABLE WITH THE REQUIREMENTS THEN HE OR SHE MAY WAVE THIS POLICY.
 36. LBR'S FOR SUBGRADE AT FORTY (40) AND LIME ROCK OR ALTERNATIVE BASE COURSE AT ONE HUNDRED (100). THERE WILL BE NO UNDER TOLERANCE.
 37. ALL MATERIAL USED FOR BACK FILL SHALL BE SAND (A3) FREE DRAINING.
 38. THERE ARE TO BE NO OPENED TRENCHES AT DAY'S END.
 39. ALL DIRT AND DEBRIS TRACKED OUT OF THE PROJECT SHALL BE CLEANED DAILY AND TO THE DISCRETION OF THE CITY OF G.C.S. ENGINEERING DEPARTMENT.

SIGNING AND PAVEMENT MARKING NOTES:

40. ALL SIGNS MUST MEET THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARDS FOR ENGINEERING GRADE SIGN FACES IN REFLECTIVITY.
41. ALL FINAL PAVEMENT MARKINGS WITHIN THE RIGHTS-OF-WAY SHALL BE THERMOPLASTIC.
42. ALL SIGNS SHALL BE ON A TEN-FOOT (10') POLE A MINIMUM OF SEVEN FEET (7') FROM THE GROUND.
43. STREET SIGNS SHALL BE MOUNTED WITH TEE CAPS.
44. STREET SIGNS SHALL BE SIX INCHES (6") WIDE WITH GREEN BACKINGS AND WHITE LETTERS AND BORDERING.
45. STOP SIGNS SHALL BE A MINIMUM TWENTY-FOUR INCH BY TWENTY-FOUR INCH (24" X 24").
46. STOP SIGNS ARE TO BE PLACED FOUR FEET (4') FROM BACK OF CURB, FOR FEET (4') BEHIND CROSS WALKS AND ON THE RIGHT HAND SIDE OF THE ROAD.
47. STREET SIGNS ARE TO BE LOCATED ON THE LEFT HAND CORNER OF THE INTERSECTION FOUR FEET (4') FROM THE BACK OF CURB.
48. STREET / STOP SIGN COMBINATIONS ARE NOT ALLOWED.
49. ALL REGULATORY SIGNS SHALL BE BLACK AND WHITE. ALL CONSTRUCTION WARNING SIGNS SHALL BE ORANGE AND BLACK. ALL WARNING SIGNS SHALL BE YELLOW AND BLACK. ALL NO PARKING AND STOP SIGNS SHALL BE RED AND WHITE.
50. STOP BARS SHALL BE TWENTY-FOUR INCHES (24") WIDE AND LANE WIDTH. ALL STOP BARS SHALL BE THERMOPLASTIC.
51. ALL SIGNS SHALL BE SIDED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS.

CITY AS-BUILT REQUIREMENTS:

1. AS-BUILTS MUST BE SUBMITTED ON THE APPROVED GRADING

Item # 3.

TOCOI π Engineering, LLC
714 NORTH ORANGE AVENUE GREEN COVE SPRINGS, FL 32043
PH: 904-215-1388 E.B. NUMBER: 26383

ENGINEER OF RECORD
CHARLES SOHM

FLORIDA
REGISTRATION NUMBER:
79289

VINEYARD TRANSITIONAL CENTER
FOR
CITY OF GREEN COVE SPRINGS
CLAY COUNTY GENERAL NOTES

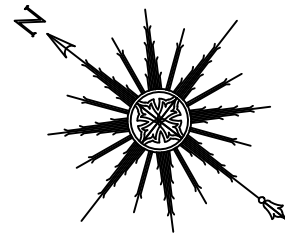
REVISIONS

PLOT DATE:
DRAWN BY:
DESIGNED BY:
CHECKED BY:
SCALE:
JOB NO.:

SHEET NO.

2B

Page 77



0 10 20

SCALE: 1" = 10'
SCALE: 1" = 20'
FOR: 22"x34" SHEET
FOR: 11"x17" SHEET

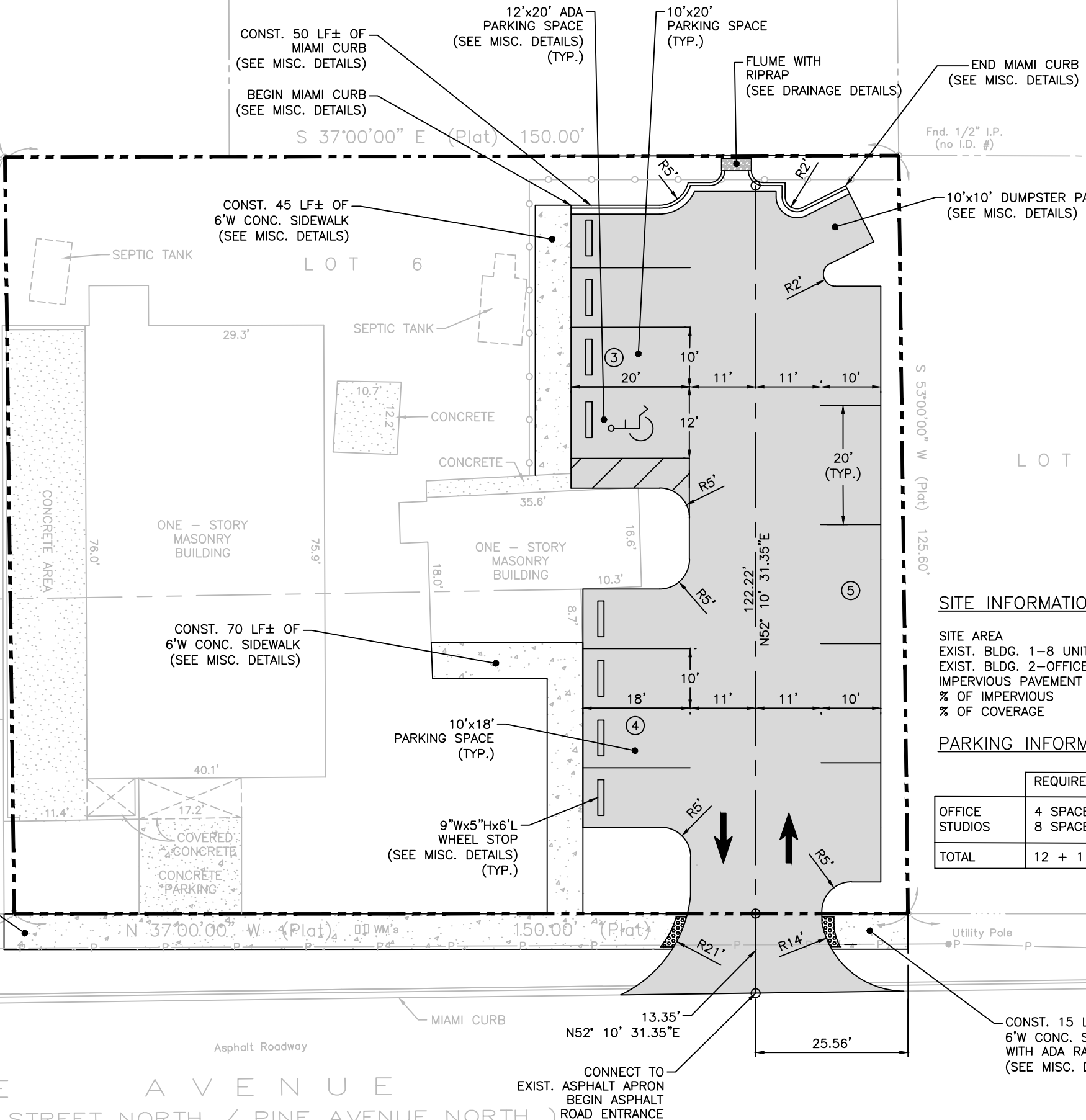
LEGEND

- AREAS WHERE NEW CONCRETE CONSTRUCTION IS TO OCCUR
- AREAS WHERE NEW ASPHALT CONSTRUCTION IS TO OCCUR

- SILT FENCE
- PROPERTY BOUNDARY
- SOLID ARROWS ARE FOR DIRECTIONAL PURPOSES ONLY NOT FOR PAVEMENT MARKINGS

⑩ NUMBER OF STANDARD PARKING SPACES

NOTE: FOR ADA PARKING AND SIDEWALK DETAILS SEE MISC. DETAILS



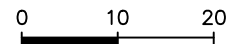
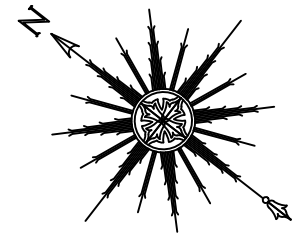
SITE INFORMATION:

SITE AREA	0.585 Ac.
EXIST. BLDG. 1-8 UNITS	4,260 SF
EXIST. BLDG. 2-OFFICE	811 SF
IMPERVIOUS PAVEMENT	4,403 SF
% OF IMPERVIOUS	37.2 %
% OF COVERAGE	20.0%

PARKING INFORMATION

	REQUIRED	PROVIDED
OFFICE	4 SPACES	5 SPACES
STUDIOS	8 SPACES	8 SPACES
TOTAL	12 + 1 ADA	13 + 1 ADA

Date: 9/7/21 Time: 2:03 PM DWG Name: \\Tel-Vault\01\Projects\20-367 Vineyard Transitional Center\03-CADD\20-367 MASTER PLAN.dwg Layout: 5-GEOMETRY PLAN



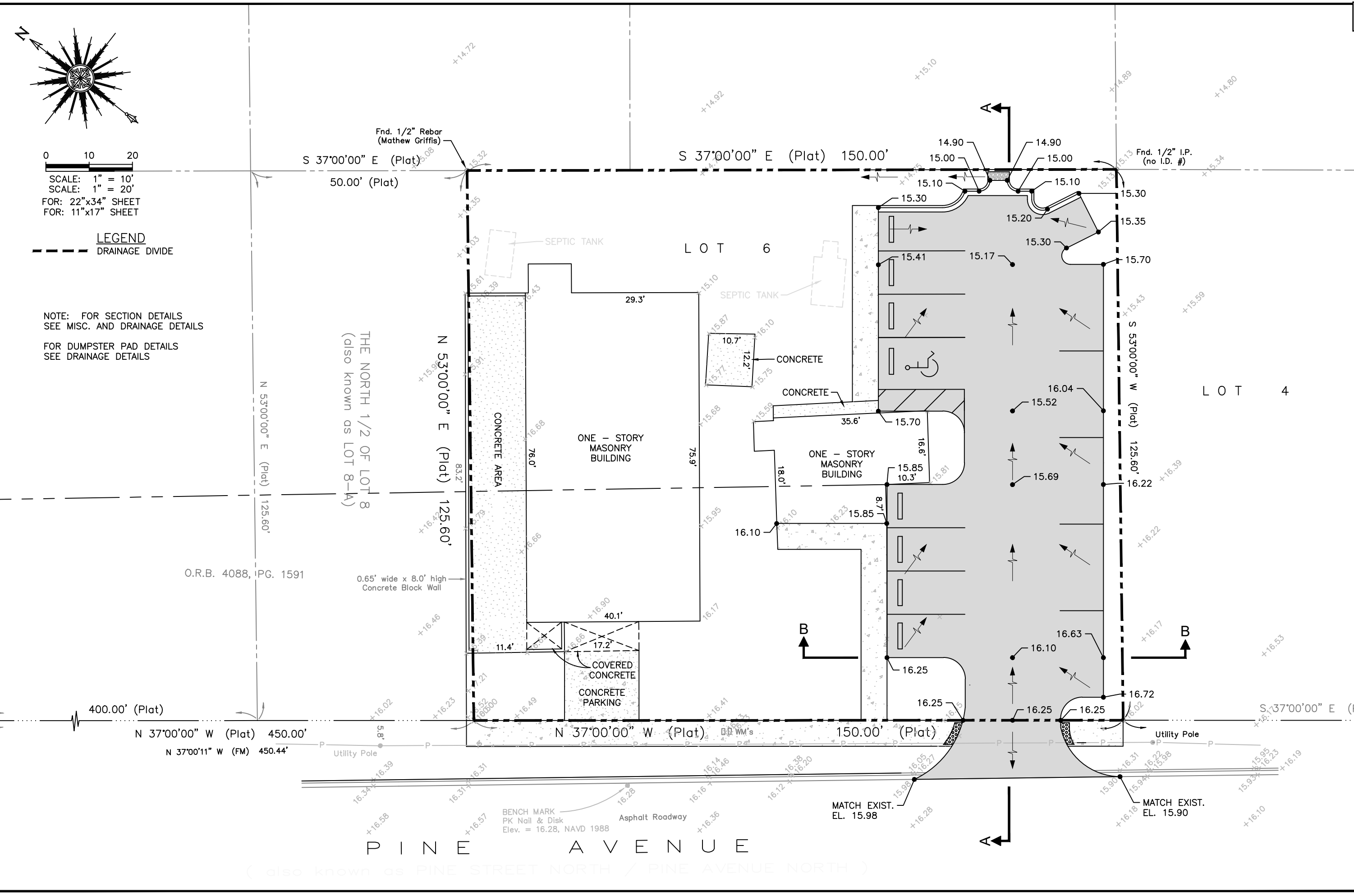
SCALE: 1" = 10'
SCALE: 1" = 20'
FOR: 22"x34" SHEET
FOR: 11"x17" SHEET

LEGEND

--- DRAINAGE DIVIDE

NOTE: FOR SECTION DETAILS
SEE MISC. AND DRAINAGE DETAILS
FOR DUMPSTER PAD DETAILS
SEE DRAINAGE DETAILS

Date: 9/8/21 Time: 11:52 AM DWG Name: \\Tel-Vault\01\Projects\20-367 Vineyard Transitional Center\03-CADD\20-367 MASTER PLAN.dwg Layout: 6-GRADING AND DRAINAGE PLAN



O.R.B. 4088, PG. 1591

THE NORTH 1/2 OF LOT 8
(also known as LOT 8-A)

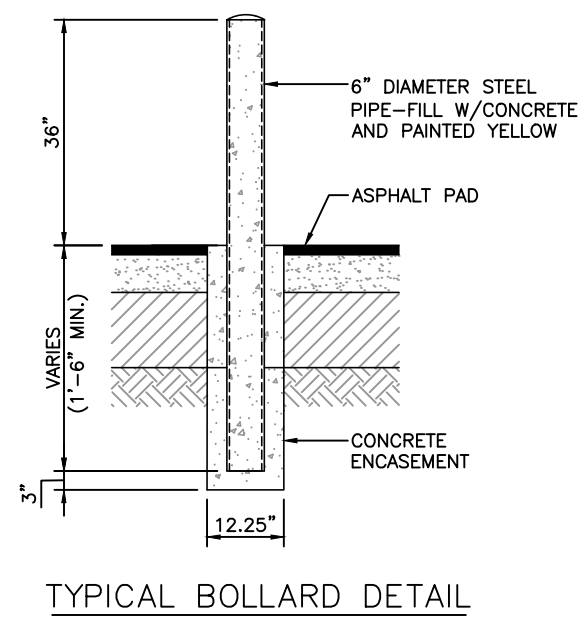
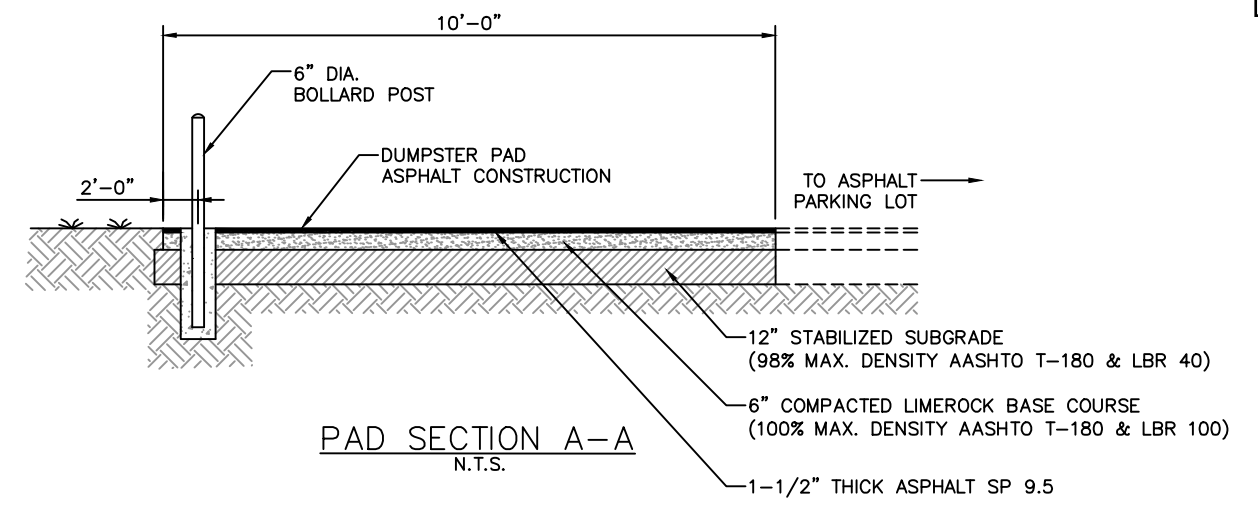
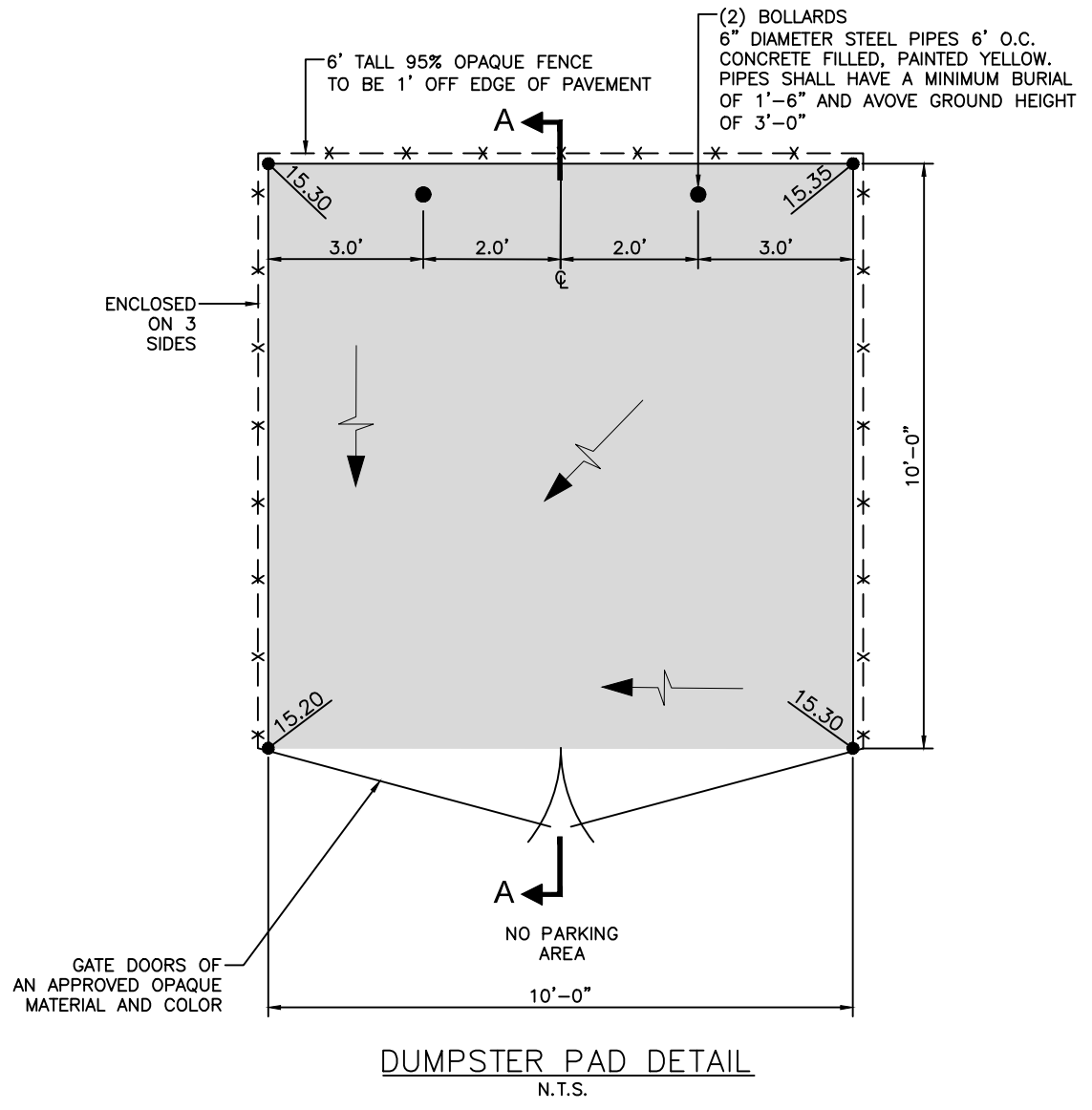
PINE AVENUE
(also known as PINE STREET NORTH / PINE AVENUE NORTH)

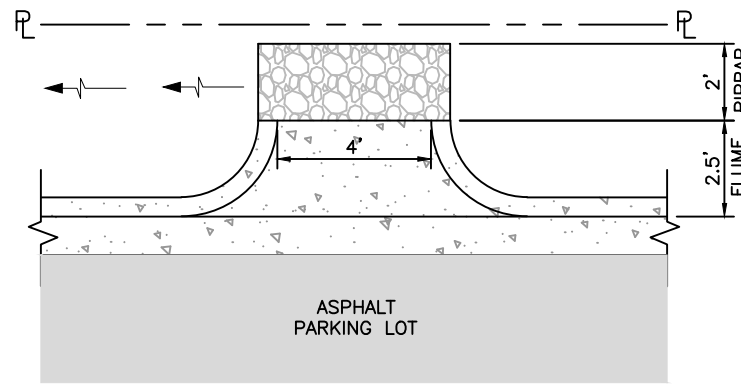
BENCH MARK
PK Nail & Disk
Elev. = 16.28, NAVD 1988

MATCH EXIST.
EL. 15.98

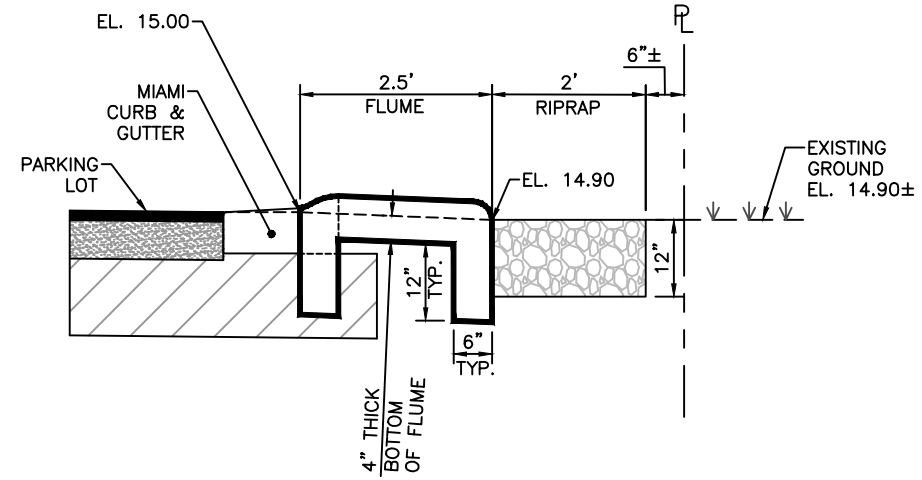
MATCH EXIST.
EL. 15.90

Utility Pole

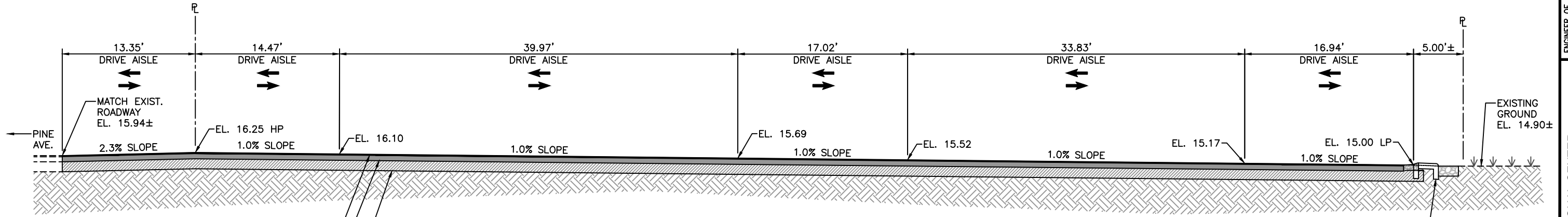




FLUME DETAIL
TOP VIEW
 N.T.S.

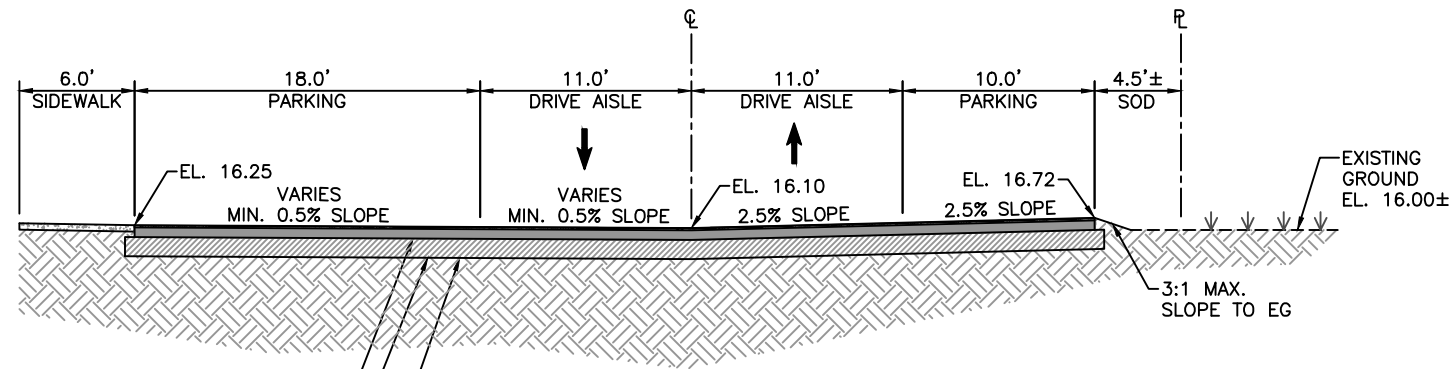


FLUME DETAIL
SIDE VIEW
 N.T.S.



DRIVEWAY SECTION A-A
 N.T.S.

1-1/2" THICK ASPHALT SP 9.5
 6" COMPACTED LIMEROCK BASE COURSE
 (100% MAX. DENSITY AASHTO T-180 & LBR 100)
 12" STABILIZED SUBGRADE
 (98% MAX. DENSITY AASHTO T-180 & LBR 40)



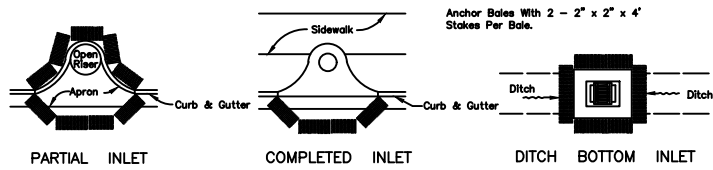
DRIVEWAY SECTION B-B
 N.T.S.

1-1/2" THICK ASPHALT SP 9.5
 6" COMPACTED LIMEROCK BASE COURSE
 (100% MAX. DENSITY AASHTO T-180 & LBR 100)
 12" STABILIZED SUBGRADE
 (98% MAX. DENSITY AASHTO T-180 & LBR 40)

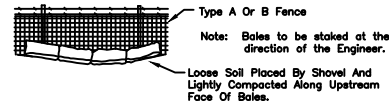
REVISIONS

NO.	DATE	DESCRIPTION

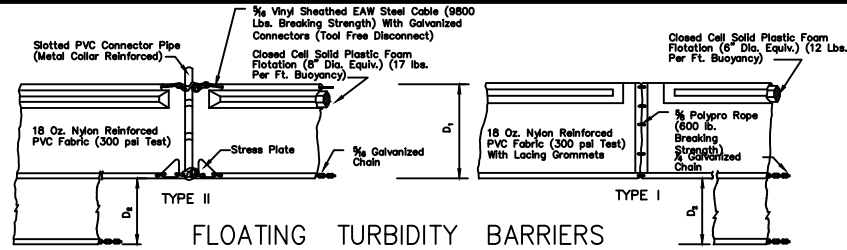
PLOT DATE:
 DRAWN BY:
 DESIGNED BY:
 CHECKED BY:
 SCALE:
 JOB NO.:
 SHEET NO.
7B



PROTECTION AROUND INLETS OR SIMILAR STRUCTURES

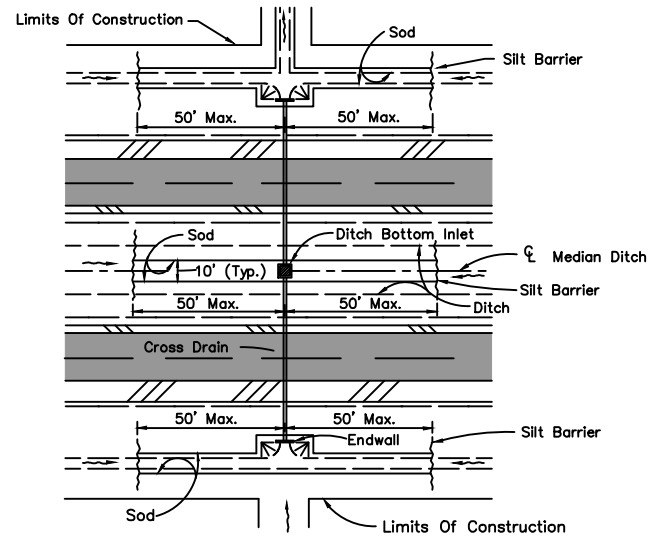


BALES BACKED BY FENCE

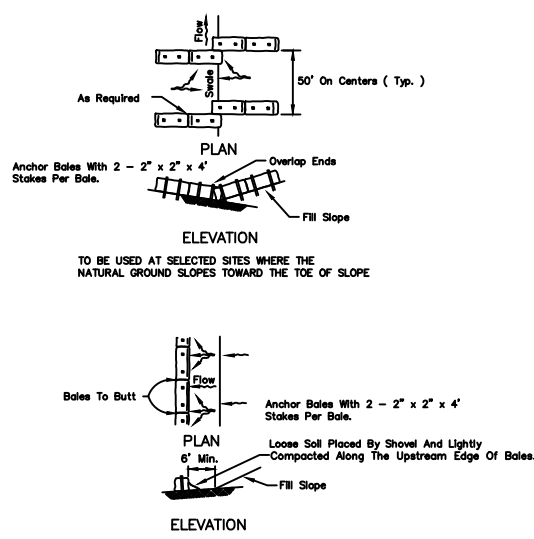


FLOATING TURBIDITY BARRIERS

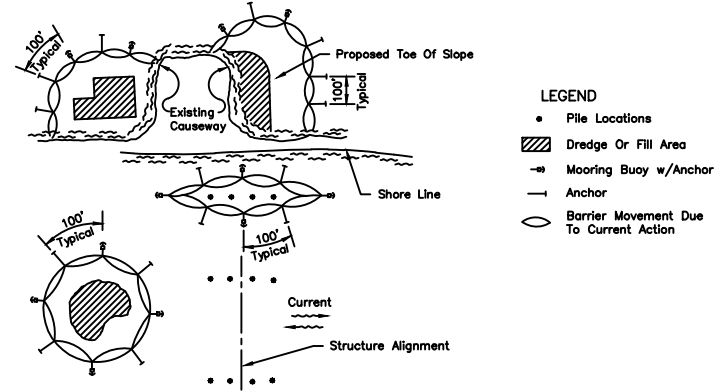
NOTICE:
COMPONENTS OF TYPES I & TYPE II MAY BE SIMILAR OR IDENTICAL TO PROPRIETARY DESIGNS. ANY INFRINGEMENT ON THE PROPRIETARY RIGHTS OF THE DESIGNER SHALL BE THE SOLE RESPONSIBILITY OF THE USER. SUBSTITUTIONS FOR TYPES I AND II SHALL BE AS APPROVED BY THE ENGINEER.



DITCH INSTALLATIONS AT DRAINAGE STRUCTURES



BARRIERS FOR FILL SLOPES

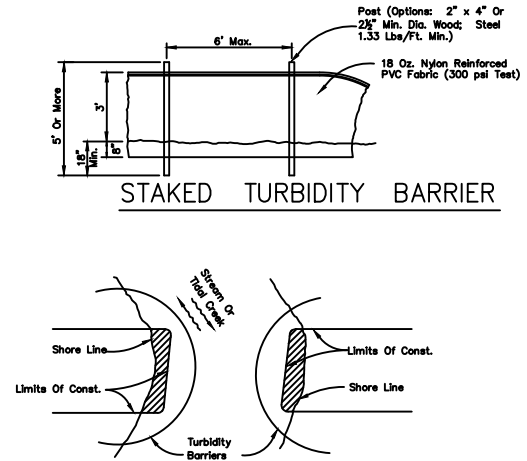


NOTES:
1. Turbidity barriers are to be used in all permanent bodies of water regardless of water depth.
2. Number and spacing of anchors dependent on current velocities.
3. Deployment of barrier around pile locations may vary to accommodate construction operations.
4. Navigation may require segmenting barrier during construction operations.
5. For additional information see Section 104 of the FDOT Standard Specifications.

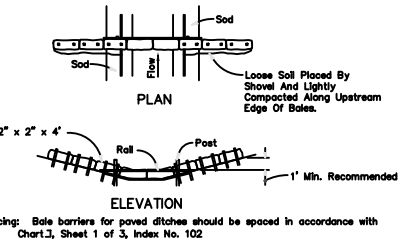
TURBIDITY BARRIER APPLICATIONS

TURBIDITY BARRIERS

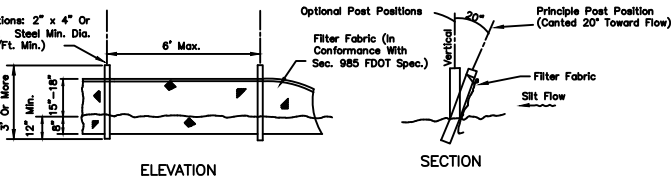
(D-907)
N.T.S.



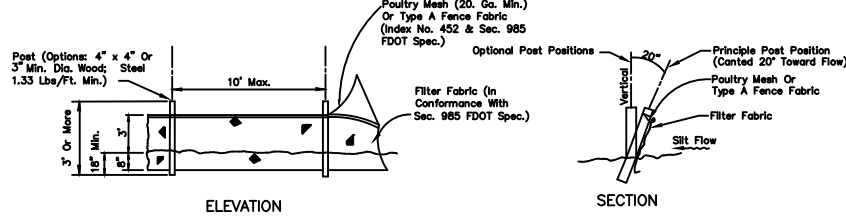
Note:
Turbidity barriers for floating streams and tidal creeks may be either floating, or staked types or any combinations of types that will suit site conditions and meet erosion control and water quality requirements. The barrier type(s) will be at the Contractor's option unless otherwise specified in the plans, however payment will be under the contract lump sum price established in the bid proposal for Erosion & Sediment Control Posts in staked turbidity barriers to be installed in vertical position unless otherwise directed by the Engineer.



BARRIER FOR PAVED DITCH

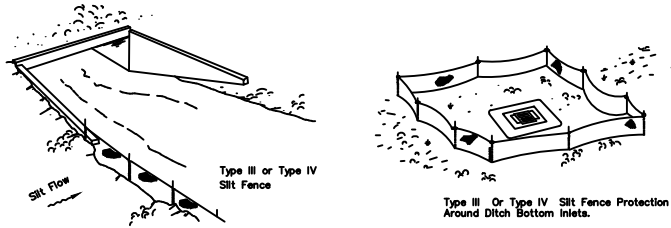


TYPE III SILT FENCE



TYPE IV SILT FENCE

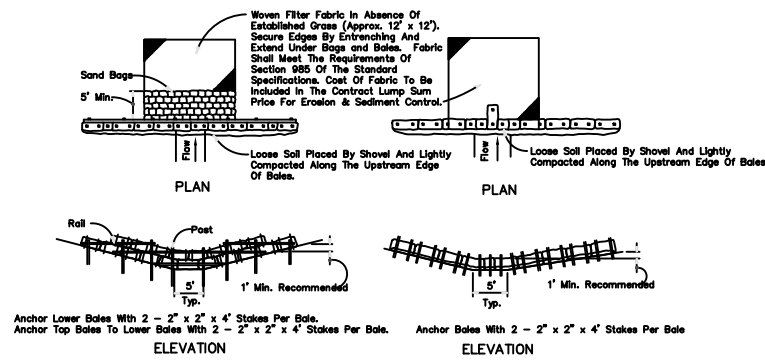
Note: Silt Fence to be paid for under the contract lump sum price for Erosion and Sediment Control.



SILT FENCE APPLICATIONS

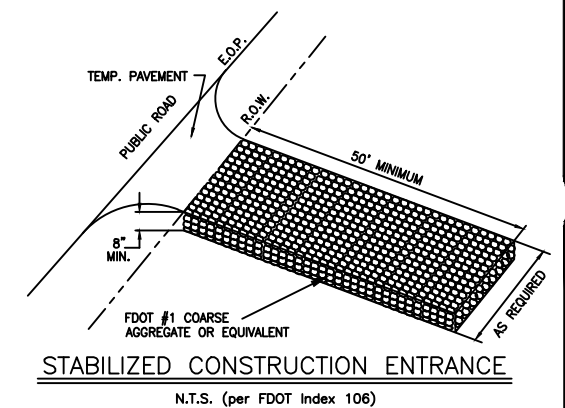
SILT FENCE TYPE III & IV

(D-908)



HAY BALE BARRIERS TYPE I & II

(D-912)
N.T.S.



STABILIZED CONSTRUCTION ENTRANCE

N.T.S. (per FDOT Index 106)

NOTE:
WHERE FDOT SPECS AND INDEX ARE REFERENCED, PLEASE REFER TO FDOT ROADWAY & TRAFFIC DESIGN STANDARDS, AND FDOT STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION.

Item # 3.

TOCOI Engineering, LLC
714 NORTH ORANGE AVENUE GREEN COVE SPRINGS, FL 32043
PH: 904-215-1388 E.B. NUMBER: 26383

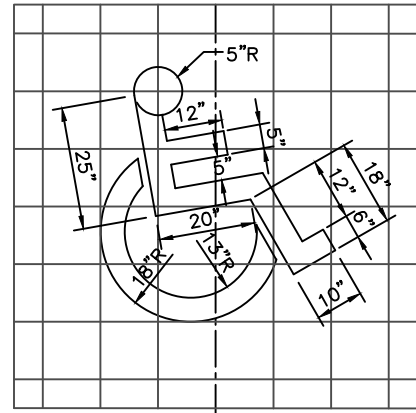
VINEYARD TRANSITIONAL CENTER FOR CITY OF GREEN COVE SPRINGS EROSION CONTROL DETAILS

REVISIONS

PLOT DATE:
DRAWN BY:
DESIGNED BY:
CHECKED BY:
SCALE:
JOB NO.:

SHEET NO.

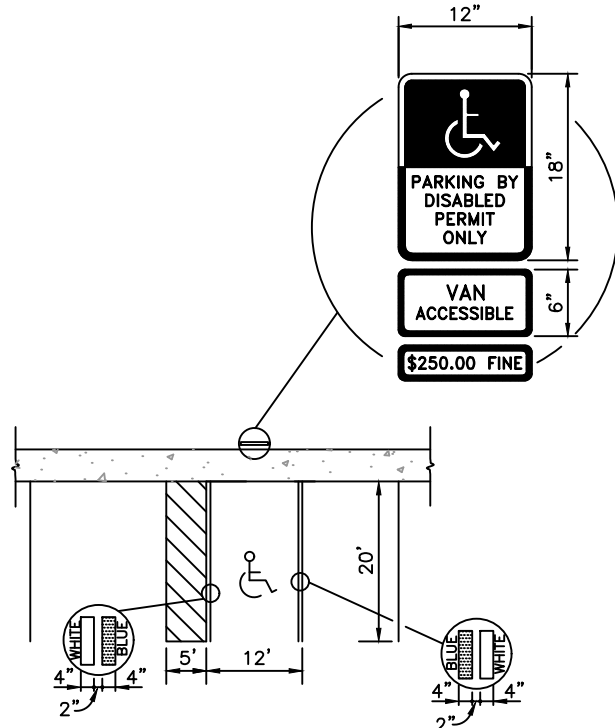
Date: 9/2/21 Time: 2:36 PM DWG Name: \\Tel-Vault\01Projects\20-367 Vineyard Transitional Center\03-CADD\20-367 EROSION CONTROL DETAILS.dwg Layout: EROS



PARKING SPACE

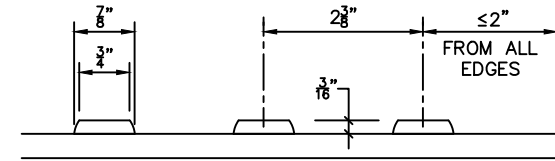
NOTE: SYMBOL SHALL BE PAINTED WITH WHITE TRAFFIC PAINT WITHIN OUTLINE SHOWN.

ADA SYMBOL DETAIL
 N.T.S.

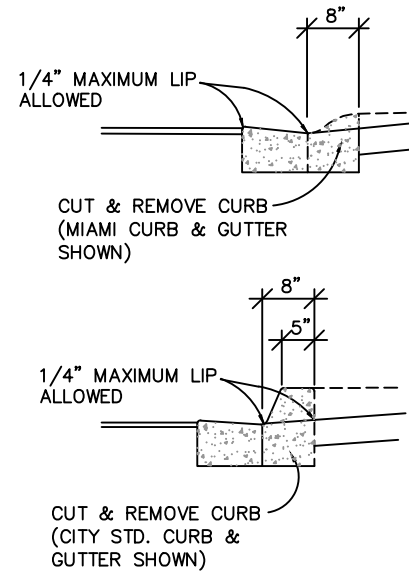


NOTE
 EACH SUCH PARKING SPACE SHALL BE CONSPICUOUSLY OUTLINED IN BLUE PAINT, AND SHALL BE POSTED AND MAINTAINED WITH A PERMANENT, ABOVE-GRADE SIGN BEARING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY OR THE CAPTION "PARKING BY DISABLED PERMIT ONLY", OR BEARING BOTH SUCH SYMBOLS AND CAPTION. SUCH SIGNS SHALL NOT BE OBTURED BY A VEHICLE PARKED IN THE SPACE. ALL HANDICAPPED PARKING SPACES MUST BE DESIGNED AND MARKED IN ACCORDANCE WITH THE STANDARDS ADOPTED BY THE DEPARTMENT OF TRANSPORTATION.

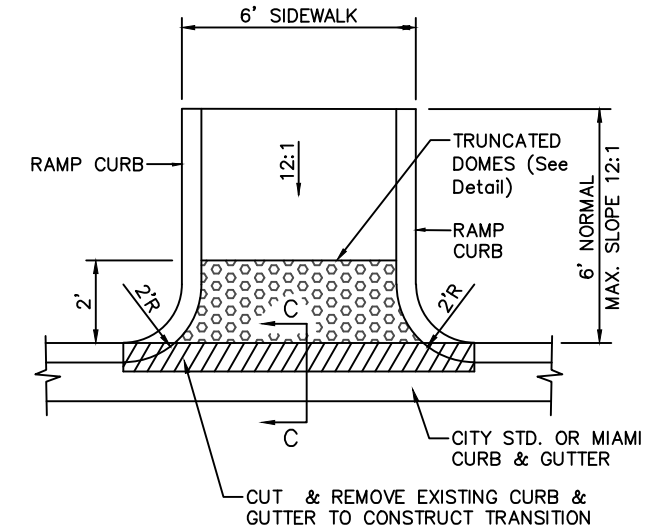
ADA PARKING DETAIL
 N.T.S.



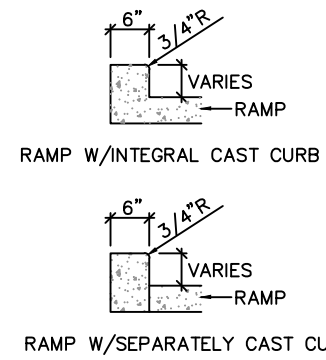
TRUNCATED DOME -
 DETECTABLE WARNING PAD DETAIL
 N.T.S.



SECTION "C-C"

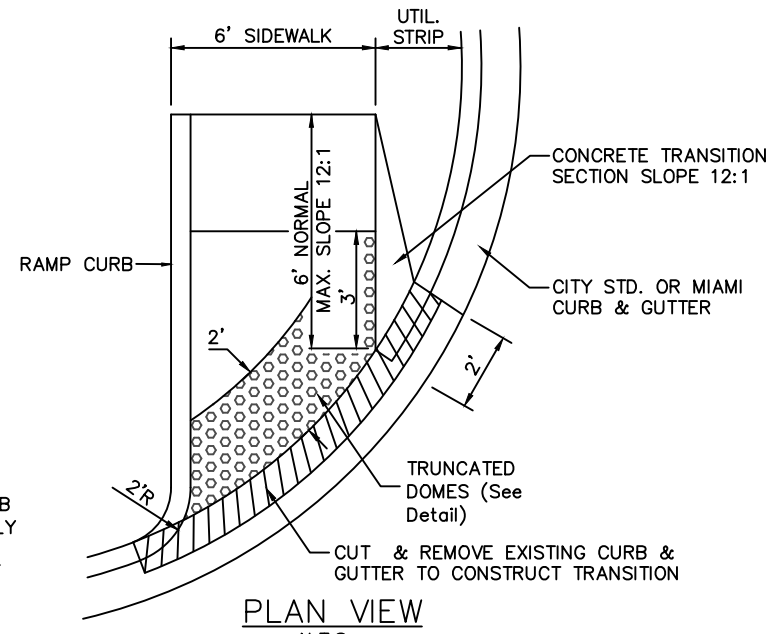


PLAN VIEW
 N.T.S.



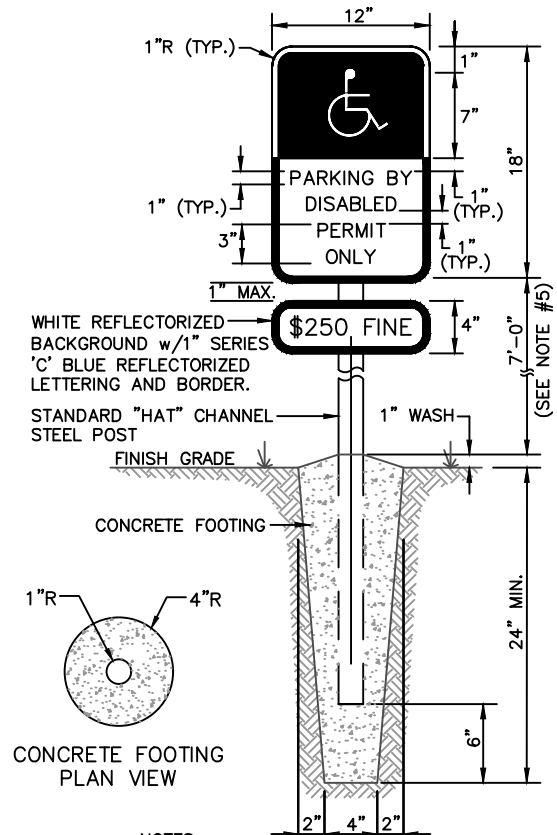
RAMP CURB OPTIONS

NOTES:
 1. DETECTABLE WARNINGS IN CURB RAMPS/CROSSWALKS SHALL COMPLY WITH ALL ADA REQUIREMENTS INCLUDING 4.7.7 / 4.29 AND FDOT INDEX NO. 304
 2. DETECTABLE WARNINGS SHALL BE WET-SET



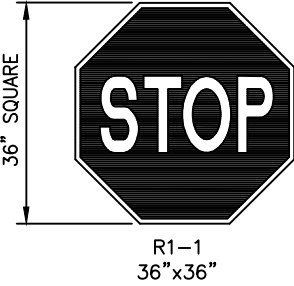
PLAN VIEW
 N.T.S.

CURB CUT RAMP FOR ADA DETAIL
 N.T.S.



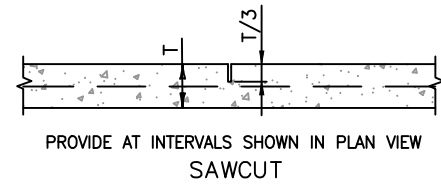
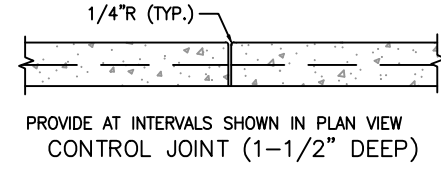
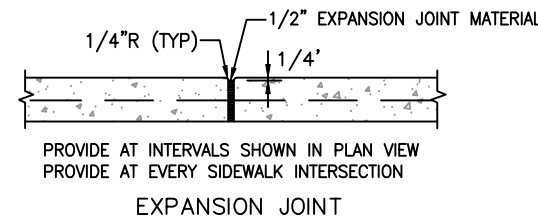
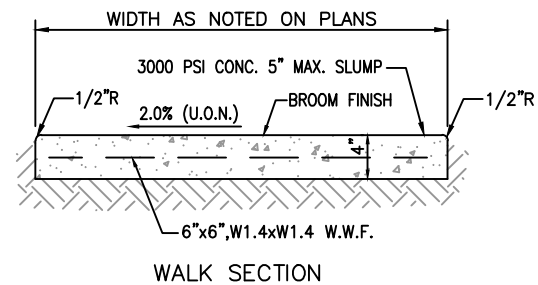
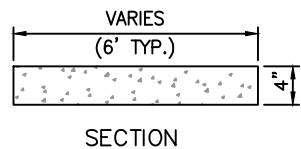
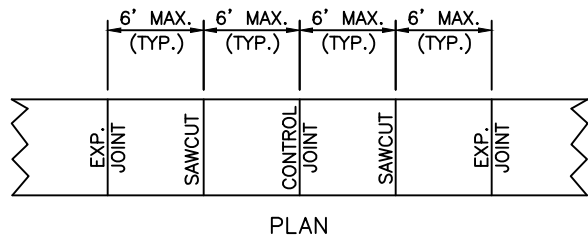
- NOTES:
1. ALL LETTERS ARE 1" SERIES.
 2. TOP PORTION OF SIGN SHALL HAVE A REFLECTORIZED BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND & BORDER.
 3. BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED WHITE BACKGROUND WITH BLOCK OPAQUE LEGEND & BORDER
 4. LETTERS AND NUMBERS ON SIGN SHALL HAVE A WIDTH-TO-HEIGHT RATIO BETWEEN 3:5 AND 1:1 AND A STROKE WIDTH-TO-HEIGHT RATIO BETWEEN 1:5 AND 1:10.
 5. SIGNS SHALL NOT BE OBTURED BY A VEHICLE PARKED IN THE SPACE.
 6. HANDICAPPED PARKING SPACE SIZE, STRIPING, AND SIGNAGE SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CITY, STATE, & FEDERAL REGULATIONS.

ADA SIGN DETAIL
 N.T.S.



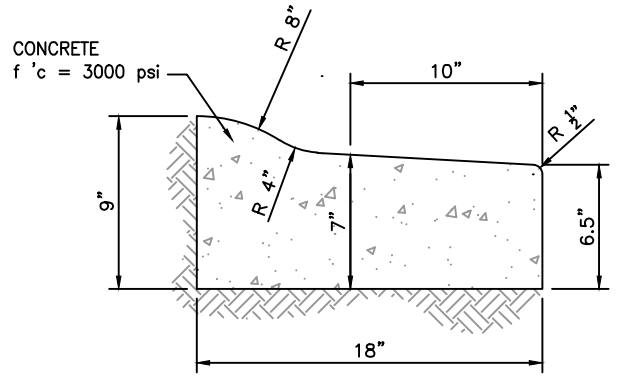
NOTE:
 THE STOP SIGN SHALL BE OCTAGON WITH WHITE MESSAGE AND BORDER ON A RED BACKGROUND.
 THE POSTS AND BRACKETS WILL BE PER FDOT STANDARD INDEX 11860 AND 11861.

SIGN DETAILS



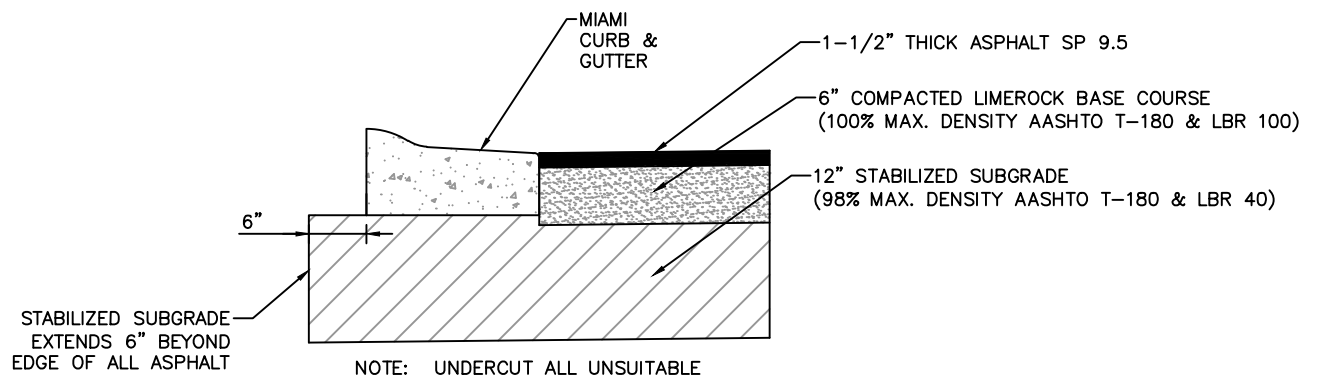
SIDEWALKS SHALL BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, CLASS NON-STRESS (NS), AND ALL METHODS OF CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDING TO THE LATEST EDITION OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.

CONCRETE SIDEWALK DETAILS
 N.T.S.



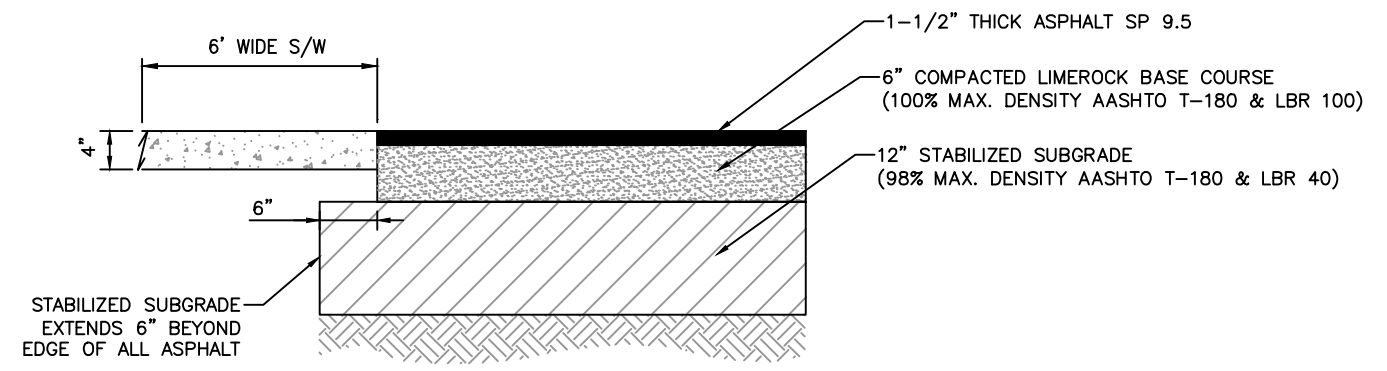
NOTE:
 WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT AND THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS.

MIAMI CURB & GUTTER
 N.T.S.



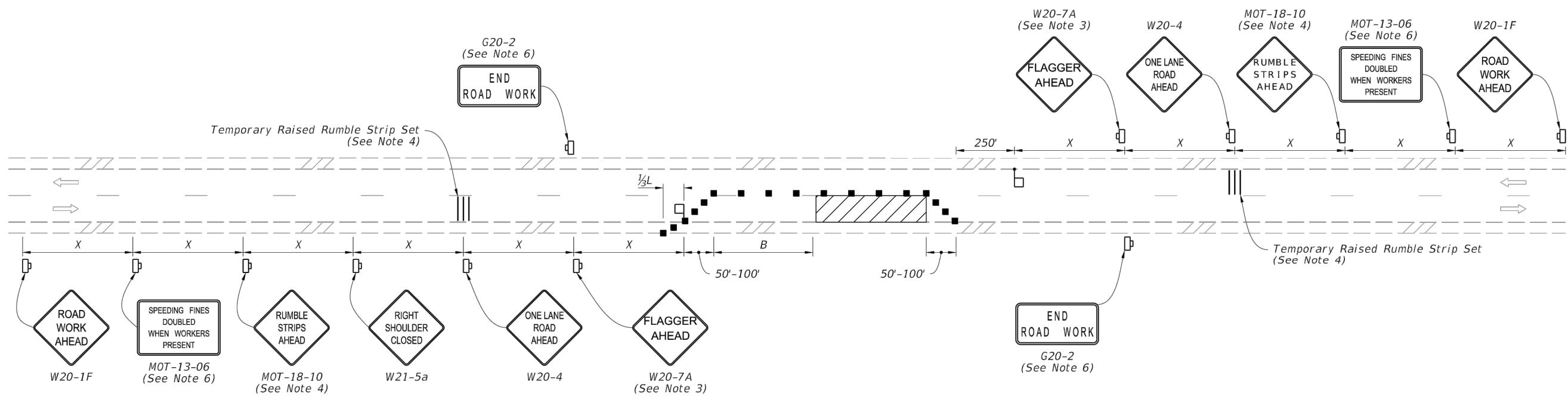
NOTE: UNDERCUT ALL UNSUITABLE MATERIAL AND BACKFILL WITH CLEAN FREE-DRAINING SAND (BOTTOM OF CUT SHALL BE 24" MIN. BELOW FINISH GRADE)

CURB & GUTTER DETAIL AT PAVEMENT AND NEW ASPHALT PAVEMENT SECTION
 N.T.S.



NOTE: UNDERCUT ALL UNSUITABLE MATERIAL AND BACKFILL WITH CLEAN FREE-DRAINING SAND (BOTTOM OF CUT SHALL BE 24" MIN. BELOW FINISH GRADE)

SIDEWALK DETAIL AT PAVEMENT AND NEW ASPHALT PAVEMENT SECTION
 N.T.S.



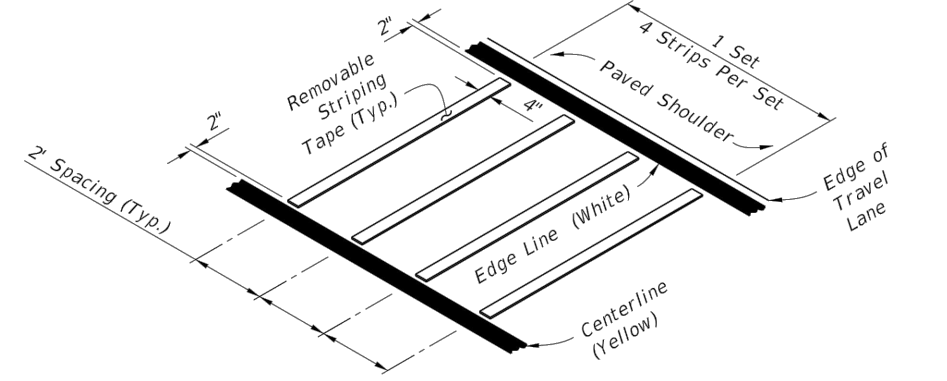
NOTES:

1. This Index applies to Two-Lane, Two-Way Roadways with work within the traveled way.
2. L = Taper Length
B = Buffer Length
X = Work Zone Sign Spacing
See Index 102-600 for "L", "B", "X" and channelizing device spacing values.
3. Optionally, use "Flagger Ahead" sign with symbol (W20-7) instead of "Flagger Ahead" sign with text (W20-7A).
4. Use temporary raised rumble when the existing posted speed is 55 mph or greater and the work duration is greater than 60 minutes. If temporary raised rumble strips are not used, omit "Rumble Strips Ahead" signs (MOT-18-10) and associated work zone sign spacing.
5. Additional one-way control may be provided by the following means:
 - a. Flag-carrying vehicle
 - b. Official vehicle
 - c. Pilot vehicles
 - d. Traffic signals

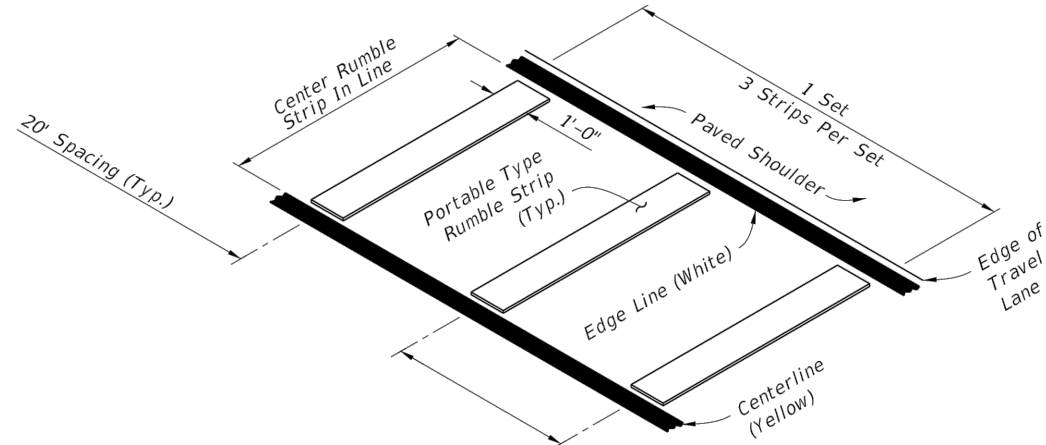
When flaggers are the sole means of one-way control, the flaggers must be in sight of each other or in direct communication at all times.
6. The "Speeding Fines Doubled When Workers Present" signs (MOT-13-06) and "End Road Work" signs (G20-2), along with associated work zone sign spacing, may be omitted when the work zone will be in place for 24 hours or less.
7. Automated Flagger Assistance Devices (AFADs) may be used in accordance with Specification Sections 102, 990 and the APL vendor drawings.
8. Special Conditions may be required in accordance with these notes and the following sheets:
 - A. Railroad Crossings:
 - a. If an active railroad crossing is located closer to the Work Area than the queue length plus 300 feet, extend the Buffer Space as shown on Sheet 2.
 - b. If the queuing of vehicles across an active railroad crossing cannot be avoided, provide a uniformed traffic control officer or flagger at the highway-rail grade crossing to prevent vehicles from stopping within the highway-rail grade crossing, even if automatic train warning devices are in place.
 - B. If the Work Area encroaches on the Centerline, use the Layout for Temporary Lane Shift to Shoulder on Sheet 2 only if the Existing Paved Shoulder width is sufficient to provide for an 11' lane between the Work Area and the Edge of Existing Paved Shoulder and the Work Zone will be in place for 24 hours or less. Reduce the posted speed when appropriate.
9. If the work encroaches on a marked bicycle lane or rideable shoulder, close the lane or shoulder in accordance with the Plans.

SYMBOLS:

- Work Area
- Channelizing Device (See Index 102-600)
- Work Zone Sign
- Lane Identification and Direction of Traffic
- Flagger



OPTION - 1
REMOVABLE STRIPING TYPE



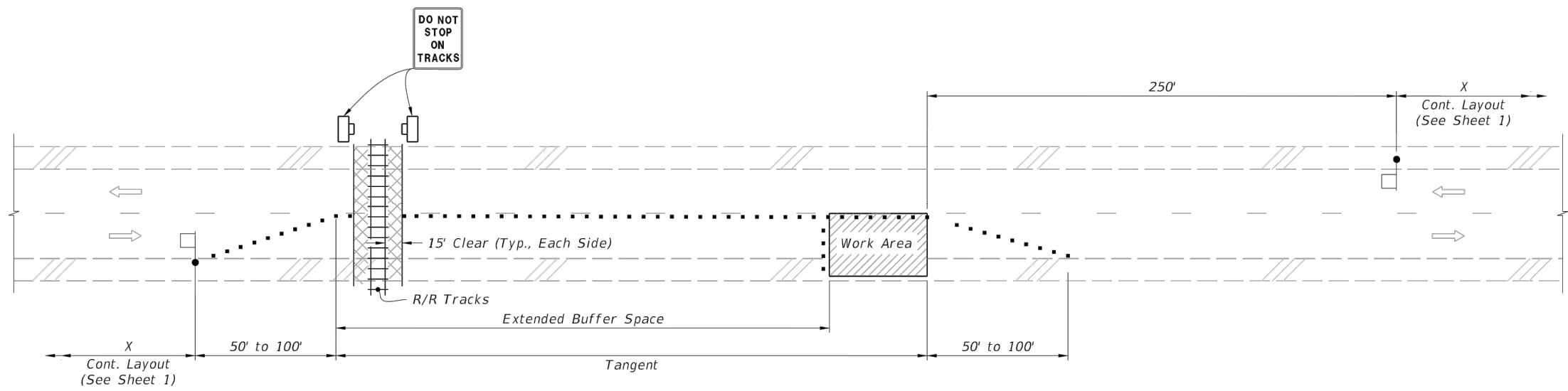
OPTION - 2
PORTABLE TYPE

RUMBLE STRIP SETS

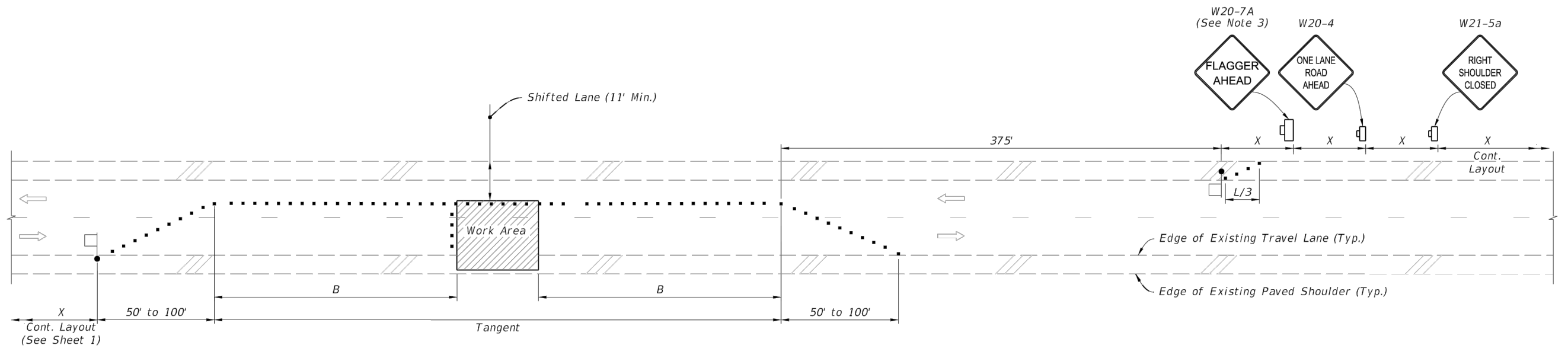
LAST REVISION 11/01/20	DESCRIPTION:	FDOT FY 2021-22 STANDARD PLANS	TWO-LANE, TWO-WAY WORK WITHIN THE TRAVEL WAY	INDEX 102-603	SHEET 1 of 2
---------------------------	--------------	--------------------------------------	---	------------------	-----------------

Date: 9/7/21 Time: 1:19 PM DWG Name: \\Tel-Yaht\01Projects\20-367 Vineyard Transitional Center\03-CADD\20-367_MISC_DETAILS.dwg Layout: C

10/12/2020 6:15:07 AM



TEMPORARY RAILROAD CROSSING BUFFER SPACE EXTENSION



TEMPORARY LANE SHIFT TO SHOULDER WHEN WORK AREA ENCROACHES ON THE CENTERLINE

SYMBOLS:

- Work Area
- Channelizing Device (See Index 102-600)
- Work Zone Sign
- Lane Identification and Direction of Traffic
- Flagger

SPECIAL CONDITIONS

LAST REVISION	DESCRIPTION:		FY 2021-22 STANDARD PLANS	TWO-LANE, TWO-WAY WORK WITHIN THE TRAVEL WAY	INDEX	SHEET
11/01/20					102-603	2 of 2

REVISIONS

PLOT DATE:	
DRAWN BY:	
DESIGNED BY:	
CHECKED BY:	
SCALE:	
JOB NO.:	

SHEET NO.
 10D
 Page 89

Date: 9/7/21 Time: 1:20 PM DWG Name: \\Tel-Vault\01Projects\20-367 Vineyard Transitional Center\03-CADD\20-367_MISC_DETAILS.dwg Layout: D

10/12/2020 6:15:14 AM

**STORM WATER POLLUTION PREVENTION PLAN
INSPECTION AND MAINTENANCE REPORT FORM**
TO BE COMPLETED EVERY 7 DAYS AND WITHIN 24 HOURS OF
A RAINFALL EVENT OF 0.25 INCHES OR MORE

PROJECT: _____

INSPECTOR: _____ DATE: _____

INSPECTOR'S QUALIFICATIONS:

DAYS SINCE LAST RAINFALL: _____ AMOUNT OF LAST RAINFALL _____ INCHES

STABILIZATION MEASURES

INSPECTION AREA (DESCRIPTION OF LOCATION)	DATE SINCE LAST DISTURBED	DATE OF NEXT DISTURBANCE	STABILIZED ? (YES/NO)	STABILIZED WITH	CONDITION

STABILIZATION REQUIRED: _____

TO BE PERFORMED BY: _____ ON OR BEFORE: _____

PAGE 1 OF 4

**STORM WATER POLLUTION PREVENTION PLAN
INSPECTION AND MAINTENANCE REPORT FORM**
STRUCTURAL CONTROLS

PROJECT: _____

DATE: _____

EARTH DIKES/SWALES

DIKE OR SWALE	FROM	TO	IS DIKE/SWALE STABILIZED ?	IS THERE EVIDENCE OF WASHOUT OR OVERTOPPING

MAINTENANCE REQUIRED FOR EARTH DIKE/SWALE: _____

TO BE PERFORMED BY: _____ ON OR BEFORE: _____

CATCH BASIN/CURB INLET/OUTFALL TURBIDITY CONTROLS

STRUCTURE/ OUTFALL	ARE TURBIDITY CONTROLS IN PLACE	ANY EVIDENCE OF CLOGGING/WASHOUT OR BYPASSING ?	ARE TURBIDITY CONTROLS IN NEED OF REPLACING	DOES SILT NEED TO BE REMOVED FROM AROUND CONTROL

MAINTENANCE REQUIRED FOR CATCH BASIN/CURB INLETS/OUTFALLS TURBIDITY CONTROLS: _____

TO BE PERFORMED BY: _____ ON OR BEFORE: _____

PAGE 2 OF 4

**STORM WATER POLLUTION PREVENTION PLAN
INSPECTION AND MAINTENANCE REPORT FORM**
SEDIMENT BASIN

PROJECT: _____

DEPTH OF SEDIMENT IN BASIN	DEPTH OF SEDIMENT SIDE BASIN	ANY EVIDENCE OF OVERTOPPING OF THE EMBANKMENT ?	CONDITION OF OUTFALL FROM SEDIMENT BASIN

MAINTENANCE REQUIRED FOR SEDIMENT BASIN: _____

TO BE PERFORMED BY: _____ ON OR BEFORE: _____

OTHER CONTROLS
STABILIZED CONSTRUCTION ENTRANCE

DOES MUCH SEDIMENT GET TRACKED ON TO ROAD ?	IS THE GRAVEL CLEAN OR IS IT FILLED WITH SEDIMENT?	DOES ALL TRAFFIC USE THE STABILIZED ENTRANCE TO LEAVE THE SITE ?	IS THE CULVERT BENEATH THE ENTRANCE WORKING? (IF APPLICABLE)

MAINTENANCE REQUIRED FOR STABILIZED CONSTRUCTION ENTRANCE: _____

TO BE PERFORMED BY: _____ ON OR BEFORE: _____

PAGE 3 OF 4

**STORM WATER POLLUTION PREVENTION PLAN
INSPECTION AND MAINTENANCE REPORT FORM**

PROJECT: _____

CHANGES REQUIRED TO THE POLLUTION PREVENTION PLAN: _____

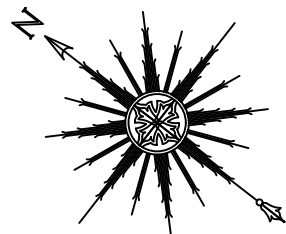
REASONS FOR CHANGES: _____

I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

SIGNATURE: _____
DATE: _____

PAGE 4 OF 4

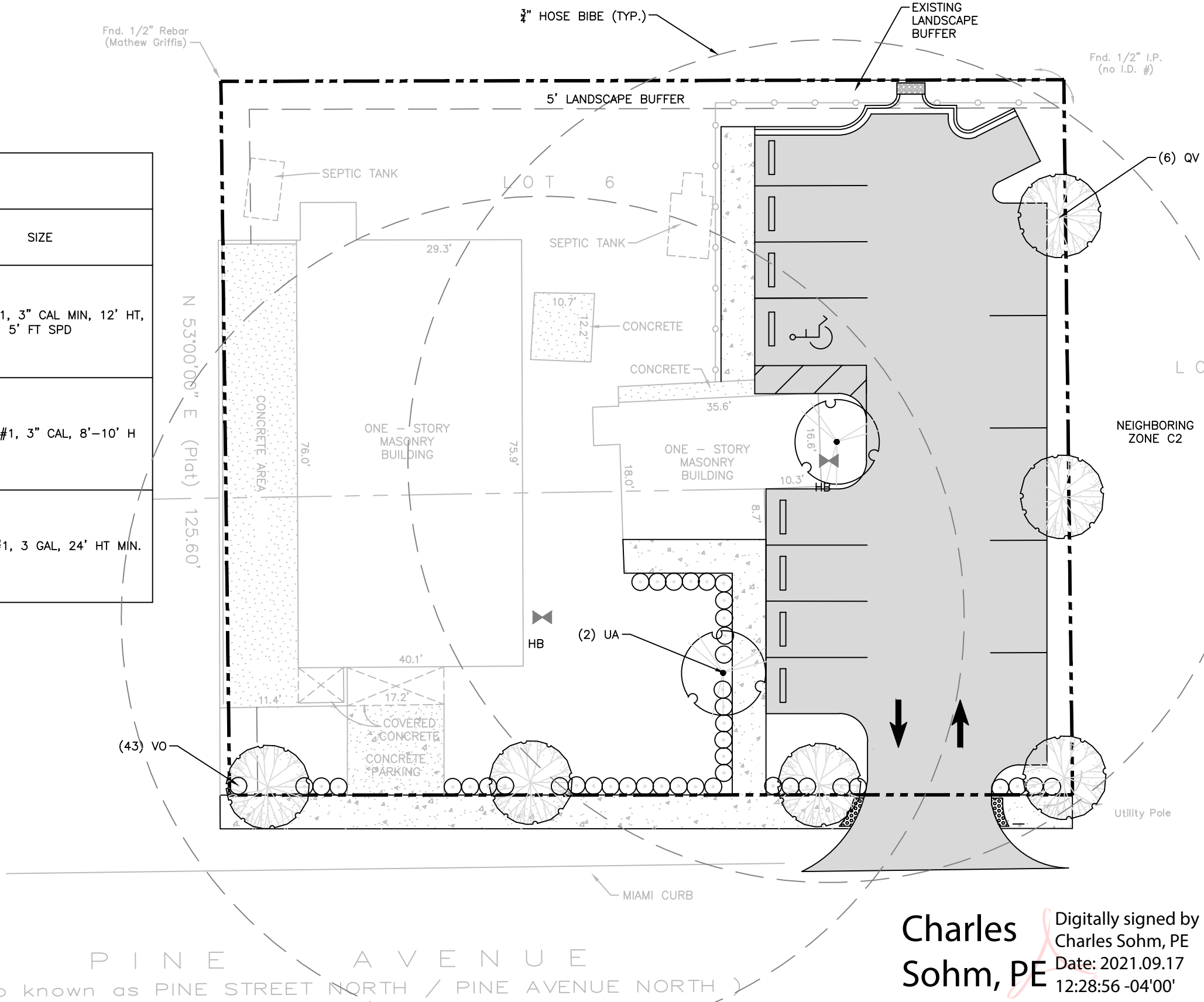
NOTE TO CONTRACTOR:
THIS IS THE CONTRACTOR'S CERTIFICATION REQUIRED BY THE EPA'S NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES), STORM WATER POLLUTION PREVENTION PLAN FOR CONSTRUCTION SITES OVER 5 ACRES. THIS CERTIFICATION MUST BE COMPLETED WEEKLY AND AFTER EVERY RAINFALL EVENT OVER 0.25 INCHES. IT IS SUGGESTED THAT THIS SHEET BE REMOVED FROM THE PLAN SET AND DUPLICATED AS NEEDED BY THE CONTRACTOR.



0 10 20
 SCALE: 1" = 10'
 SCALE: 1" = 20'
 FOR: 22"x34" SHEET
 FOR: 11"x17" SHEET

PLANT SCHEDULE

SYMBOL	CODE	QTY	COMMOM NAME	BOTANICAL NAME	SIZE
	QV	6	LIVE OAK	QUERCUS VIRGINIANA	FLORIDA #1, 3" CAL MIN, 12' HT, 5' FT SPD
	UA	2	FLORIDA ELM	ULMUS AMERICANA FLORIDANA	FLORIDA #1, 3" CAL, 8'-10' H
	VO	290	WALTER'S VIBURNUM	VIBURNUM OBOBATUM	FLORIDA #1, 3 GAL, 24' HT MIN.



P I N E A V E N U E
 (also known as PINE STREET NORTH / PINE AVENUE NORTH)

Charles Soh, PE
 Digitally signed by Charles Soh, PE
 Date: 2021.09.17 12:28:56 -04'00'

Item # 3.

TOCOI π Engineering, LLC
 714 NORTH ORANGE AVENUE GREEN COVE SPRINGS, FL 32043
 PH: 904-215-1388 E.B. NUMBER: 26383

ENGINEER OF RECORD
 CHARLES SOHM
 FLORIDA REGISTRATION NUMBER:
 79289

VINEYARD TRANSITIONAL CENTER
 FOR
 CITY OF GREEN COVE SPRINGS
 LANDSCAPE PLAN

REVISIONS

PLOT DATE:
 DRAWN BY:
 DESIGNED BY:
 CHECKED BY:
 SCALE:
 JOB NO.:

SHEET NO.
 LS 1
 Page 92

Date: 9/17/21 Time: 12:15 PM DWG Name: \\Tel-Yout\01\Projects\20-367 Vineyard Transitional Center\05-CADD\20-367 MASTER PLAN.dwg Layout: LS-1

CITY OF GREEN COVE SPRINGS LANDSCAPE NOTES

- THESE PLANS ARE FOR LANDSCAPE PERMITTING PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR FOLLOWING ALL APPROPRIATE RULES AND REGULATIONS.
- TREE PROTECTION BARRIERS ARE TO REMAIN IN PLACE UNTIL ALL SITE DEVELOPMENT IS COMPLETED.
- EXISTING TREES SHOWN ON THIS PLAN ARE THOSE LOCATED BY SURVEYOR. ENGINEER TAKES NO RESPONSIBILITY FOR THEIR LOCATION AND SIZE.
- ENGINEER CAN NOT GUARANTEE EXISTING TREE SURVIVAL FROM CONSTRUCTION IMPACT.
- PLANT SIZE TAKES PRECEDENCE OVER CONTAINER SIZE.
- PLANT QUANTITIES AND SQUARE FOOTAGE TABULATIONS ARE FOR THE CONTRACTORS CONVENIENCE ONLY. THE CONTRACTOR IS TO VERIFY ALL PLANT QUANTITIES AND SQUARE FOOTAGES.
- ALL TREES LOCATED IN LAWN AREAS ARE TO HAVE A 2' RADIUS MULCHED CIRCLE AROUND BASE OF TREE.
- ALL PLANT MATERIAL TO BE FLORIDA GRADE #1 OR BETTER.
- ALL PLANTING AREAS AND MULCHED RADII AROUND TREES ARE TO BE A MIN. 2" OF ORGANIC MULCH.
- ALL SHADE TREES TO BE 15 FT MIN. FROM ALL OVER HEAD POWER LINES.
- ALL SHADE TREES TO BE 5 FT MIN. AND UNDERSTORY TREES ARE TO BE A 2 1/2' FT MIN. FROM ALL SIDEWALKS, CURBS AND HARDSURFACES.
- CONTRACTOR RESPONSIBLE TO PROVIDE ON SITE, TOTAL CALIPER INCHES SHOWN ON PLANTING SCHEDULE.
- FINAL ACCEPTANCE OF LANDSCAPE IS NOT TO BE ASSUMED UNTIL:
 - CITY FINAL LANDSCAPE INSPECTION IS COMPLETE AND APPROVED,
 - A FORMAL LETTER FROM GENERAL CONTRACTOR TO ENGINEER STATING FINAL APPROVAL IS DELIVERED TO ENGINEER.
- CONTRACTOR RESPONSIBLE FOR LANDSCAPE MAINTENANCE UNTIL FINAL APPROVAL LETTER RELEASES LANDSCAPE TO OWNER.
- ALL DISTURBED AREAS ON THE SITE AND THE RIGHT-OF-WAY SHALL BE SODDED WITH TURF GRASS (ST. AUGUSTINE OR EQUIVALENT).
- CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ALL REQUIRED PERMITS AND ASSOCIATED FEES TO COMPLETE THE WORK.
- CONTRACTOR SHALL LOCATE AND VISIBLY MARK ALL BURIED UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY CONFLICTS.
- SUBSTITUTIONS WILL REQUIRE CITY OF GREEN COVE SPRINGS APPROVAL AND AMENDED PLANS.

CODE REQUIREMENT CALCULATIONS (FROM ARTICLE VI)

SITE AREA (SF)	19,047.30
ZONING AREA	C2
PCT LANDSCAPED AREA (MIN 15%)	2,857.10

SITE AREA (SF)	SQ. FEET/	SQ FT/ TREE (FIRST 10,500 SF)=	
19,047.30	1500		7
19,047.30	4000		2
REQUIRED TREES			9
MIN CALIPER PER TREE			2.5
TOTAL MIN CALIPER REQUIRED			22.50
TOTAL NET CALIPER PROVIDES (SEE LANDSCAPE PLAN)			24.00

OVERALL LANDSCAPE POINTS				
SIZE	RETAINED POINTS	REMOVED POINTS	INSTALLED POINTS	TOTAL POINTS
UNDERSTORY	0	0	0	0.00
CANOPY	0	0	24.00	24.00
TOTAL POINTS				24.000

IRRIGATION

- HOSE BIBS ARE TO BE PROVIDED EVERY 75' WITHIN ALL LANDSCAPED AREAS WITHIN THE PROJECT AREA.
- UPON COMPLETION, CONTRACTOR SHALL SUBMIT AN AS-BUILT PLAN OF THE INSTALLED IRRIGATION SYSTEM, LOCATION OF ALL COMPONENTS AND SLEEVES TO THE OWNER (AND MUNICIPAL AUTHORITY IF REQUIRED).
- ALL PIPE AND WIRE UNDER PAVING SHALL BE PLACED IN SCHEDULE 40 PVC SLEEVES FOR THE FULL PAVEMENT COVERAGE LENGTH AND SHALL BE AT LEAST 24" BELOW FINISHED GRADE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICABLE PERMITS AND FEES.

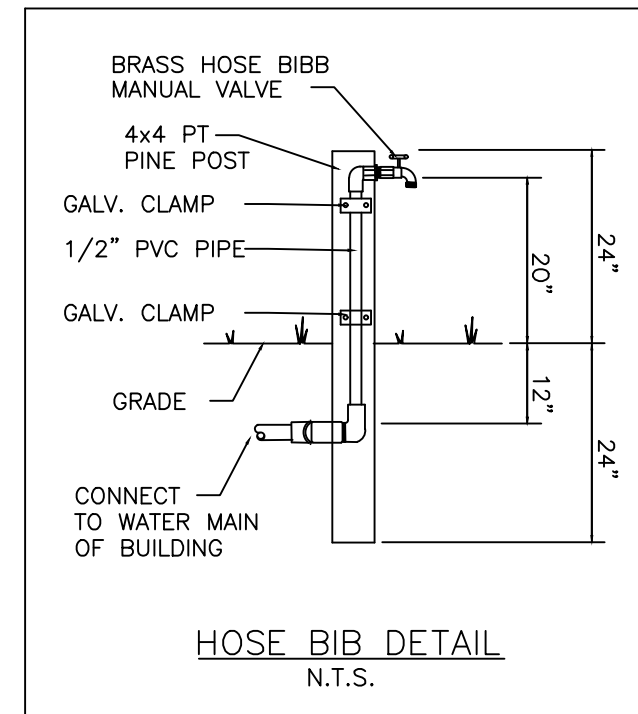
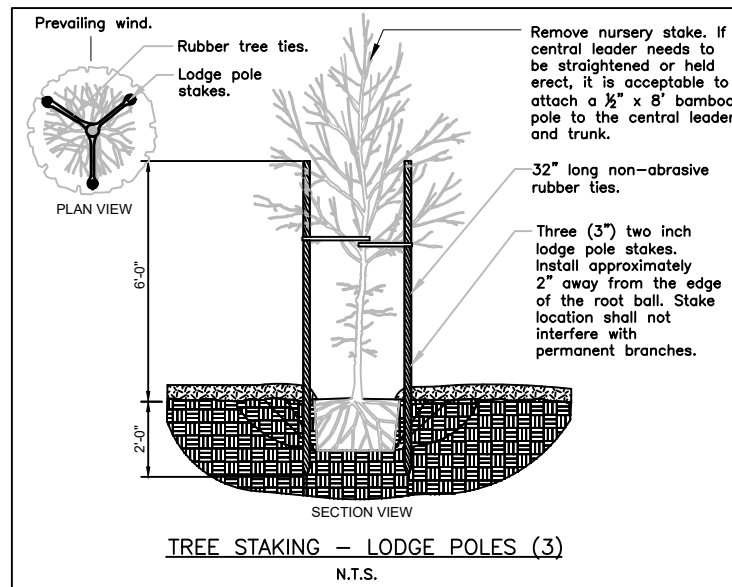
WATERING SCHEDULE

ALL REQUIRED LANDSCAPING SHOWN ON THESE PLANS WILL BE WATERED MANUALLY USING HOSE BIBS DISPERSED THROUGHOUT THE DEVELOPMENT SO THAT EVERY REQUIRED LANDSCAPE AREA IS WITHIN 75' OF A HOSE BIB. TREES SHALL BE WATERED AS NEEDED TO PREVENT DECLINE, AND AT MINIMUM, THREE TIMES WEEKLY DURING NO-RAIN PERIODS FOR THE FIRST 60 DAYS. WATER THEREAFTER ACCORDING TO THE FOLLOWING 180-DAY SCHEDULE:

- LARGE TREES/PALMS: 30GAL/APPLICATION
- SMALL TREES: 20GAL/APPLICATION
- SHRUBS AND SOD: AS NEEDED TO PREVENT WILTING

- 1ST 8 WEEKS: 3 WATERINGS PER WEEK (24 TOTAL)
- 2ND 8 WEEKS: 2 WATERINGS PER WEEK (16 TOTAL)
- FINAL 10 WEEKS: 1 WATERING PER WEEK (10 TOTAL)

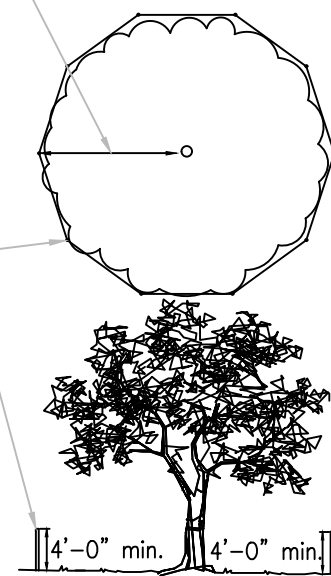
ALL WATERING MUST COMPLY WITH ST. JOHN'S RIVER WATER MANAGEMENT DISTRICT LAWN AND IRRIGATION RULES AND REGULATIONS.



TEMPORARY TREE PROTECTION BARRIER SHALL BE LOCATED AS INDICATED ON PLAN BUT SHALL ALWAYS BE AT 1'-0" OF RADIUS FOR EVERY 1" OF D.B.H. IF NO CONSTRUCTION ACTIVITIES ARE TO TAKE PLACE WITHIN THE DRIP LINE. IN NO CASE SHALL THE PROTECTED AREA BE LESS THAN ONE-HALF THE AVERAGE RADIUS OF THE DRIP LINE OR LESS THAN 10 FEET.

THE BARRIER SHALL BE CONSTRUCTED OF: 4'-0" SAFETY DRAINAGE COPOLYMER BARRIER FENCING RETAINED TAUGHT BY WIRE TIES TO POSTS. POSTS SHALL BE #3 REBAR 6'-0" LONG DRIVEN 2'-0" INTO GROUND NO MORE THAN 6'-0" APART. REBAR POST SHALL HAVE A SAFETY CAP ON EACH POST'S EXPOSED END.

NOTES:
-NO MATERIALS OR EQUIPMENT SHALL BE STORED, OPERATED, DUMPED, OR BURNED WITHIN THE PROTECTED AREA.
-NO ATTACHMENT (WIRES, SIGNS, ETC.), SHALL BE ATTACHED TO A PROTECTED TREE.
-PRIOR TO ANY LAND CLEARING OPERATIONS, TREE LIMBS WHICH INTERFERE WITH CONSTRUCTION SHALL BE REMOVED IN ACCORDANCE WITH NAT. ARBORIST ASSOC. PRUNING STANDARDS.



TREE PROTECTION BARRIER DETAIL
N.T.S.

Jonathan



REAR - RIGHT



FRONT - LEFT



FRONT - RIGHT



REAR - LEFT

DO NOT MEASURE DRAWINGS
NOTIFY IDESIGN, INC. OF ANY AND ALL DISCREPANCIES
PRIOR TO CONSTRUCTION FOR CLARIFICATION

Item # 3.

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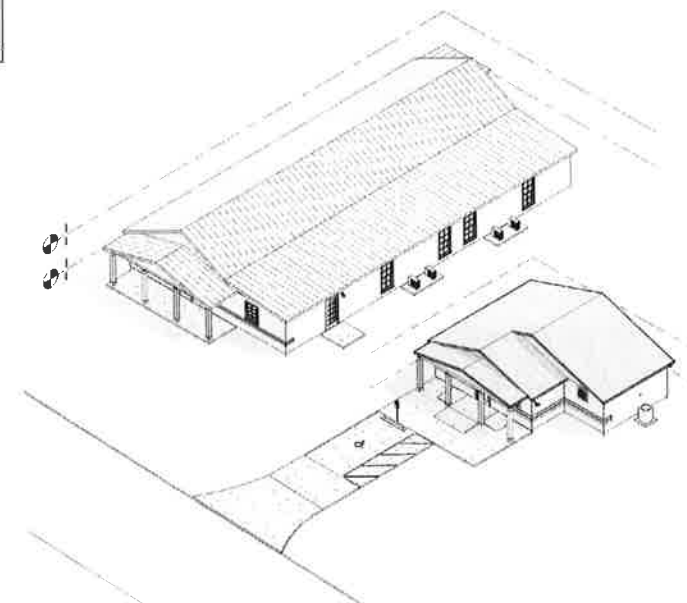
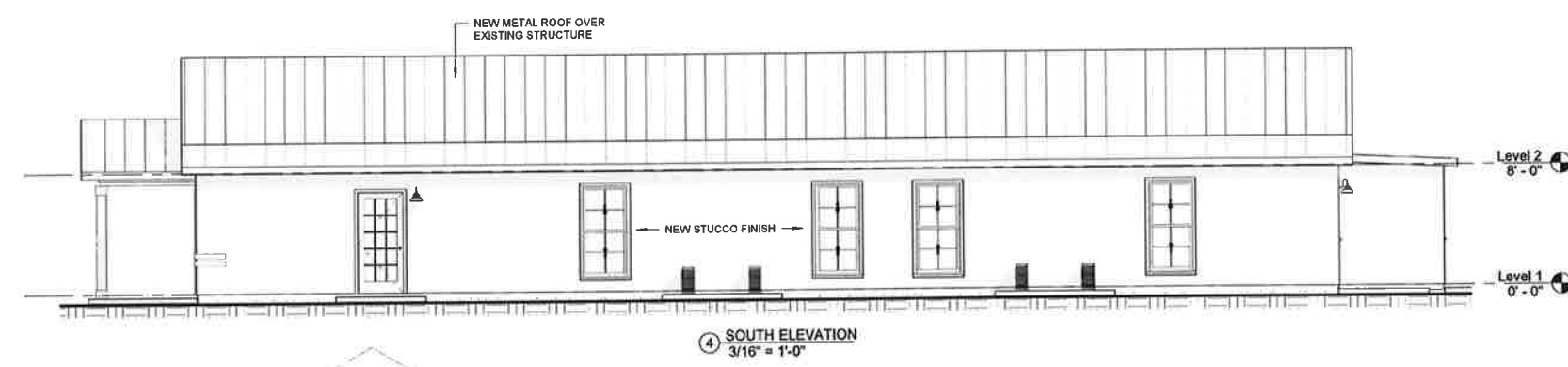
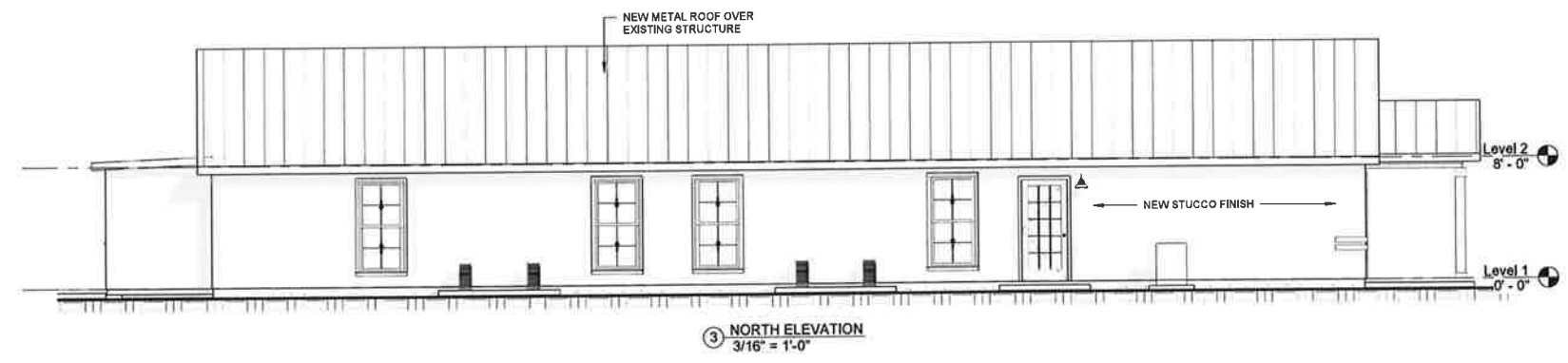
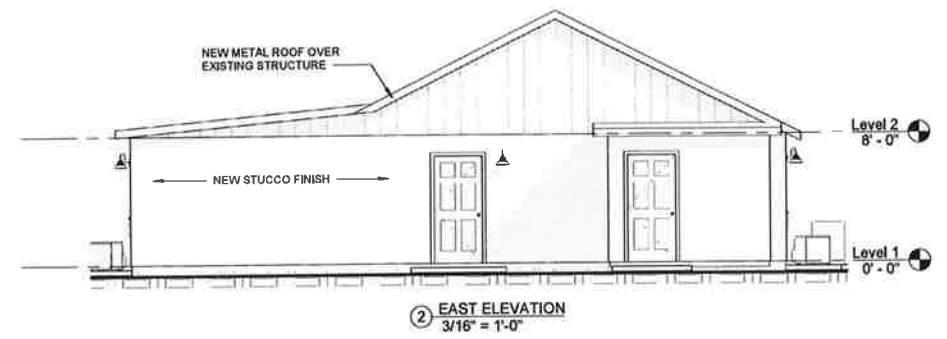
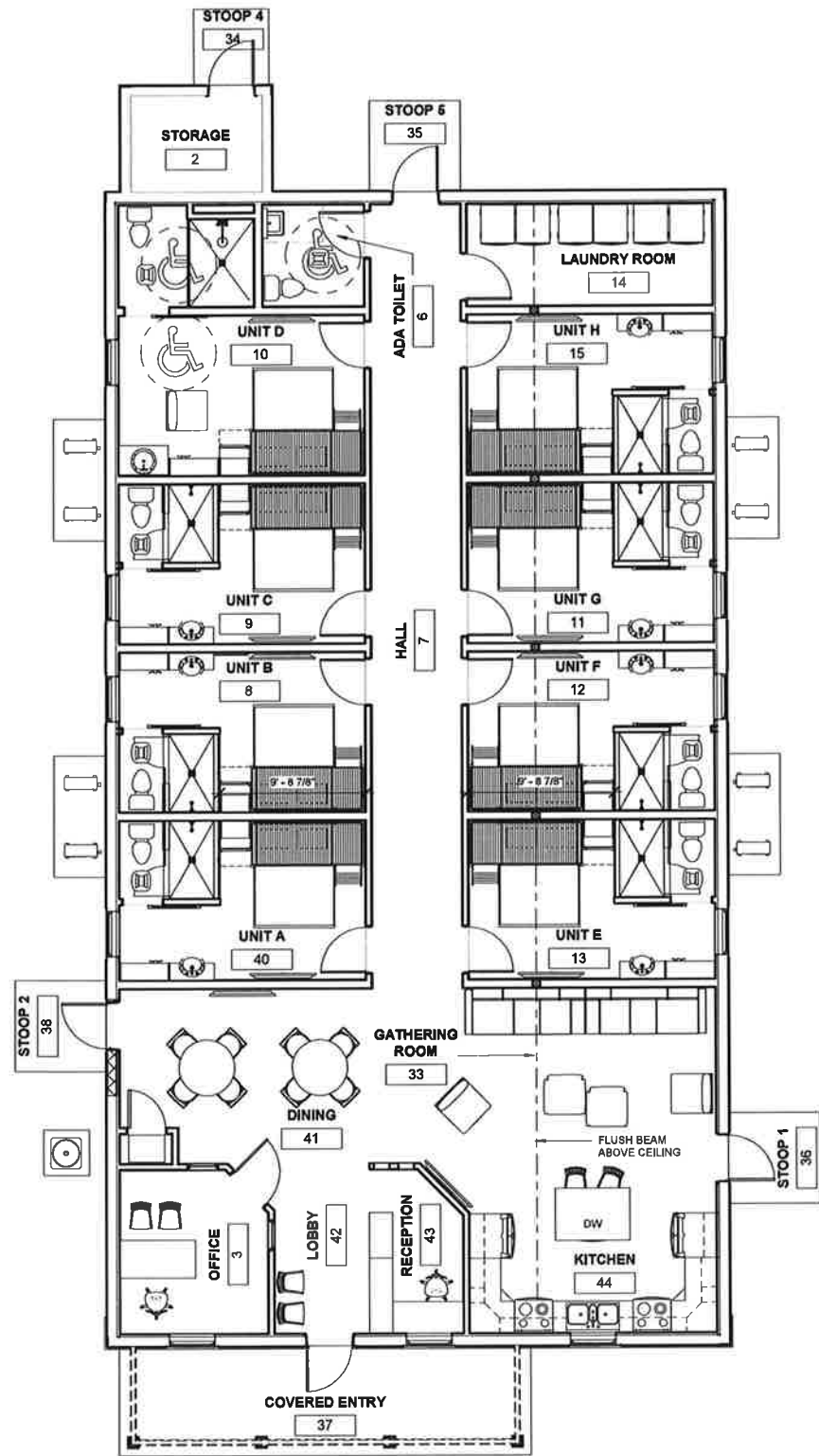
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ARCHITECTURAL DESIGN • INTERIOR DESIGN • PLANNING
1603 WEST EDGEWOOD AVE, SUITE 3, JACKSONVILLE, FL, 32208
904-666-0080 OFFICE - 904-800-1233 FAX
License Number AA26002513

A RENOVATION FOR:
TRUE VINE FELLOWSHIP
518 PINE STREET N
GREENCOVE SPRINGS, FL 32043
RENDERED VIEWS

DRAWN BY
Author
CHECKED BY
Checker
DATE
10/21/2019
11:22:44
SCALE
1/12" = 1'-0"
PROJECT No.
Project
Number
SHEET

A102

DO NOT MEASURE DRAWINGS
 NOTIFY IDESIGN, INC. OF ANY AND ALL DISCREPANCIES
 PRIOR TO CONSTRUCTION FOR CLARIFICATION



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 REPRODUCE OR TRANSMIT IN ANY FORM OR BY ANY
 MEANS, ELECTRONIC OR MECHANICAL, INCLUDING
 PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION
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 License Number AA26002513

A RENOVATION FOR
TRUE VINE FELLOWSHIP
 518 PINE STREET N
 GREENCOVE SPRINGS, FL 32043
**CONCEPTUAL PLAN - TRANSITIONAL
 HOUSING**

DRAWN BY
 Author
 CHECKED BY
 Checker
 DATE
 10/21/2019
 11:22:44
 SCALE/PM
 3/16" = 1'-0"
 PROJECT No.
 Project
 Number
 SHEET

A101

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■ Camp Blanding
■ State Forests



Pine Avenue

Parcel: 38-06-26-017656-000-00 Acres: 0.286

Name:	RANDAL W KITE & SHERRY	Land Value:	10,000
Site:	518 PINE AVE N	Building Value:	31,126
Sale:	\$50,000 on 04-2002 Reason=N Qual=U	Misc Value:	3,047
Mail:	4385 FALCON RUN MIDDLEBURG, FL 32068	Just Value:	44,173
		Assessed Value	44,173
		Exempt Value	0
		Taxable Value	44,173



The Clay County Property Appraiser's Office makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll. PLEASE NOTE THAT THE PROPERTY APPRAISER MAPS ARE FOR ASSESSMENT PURPOSES ONLY NEITHER CLAY COUNTY NOR ITS EMPLOYEES ASSUME RESPONSIBILITY FOR ERRORS OR OMISSIONS ---THIS IS NOT A SURVEY---

Date printed: 06/25/18 : 10:27:20



City of Green Cove Springs Florida

Phone: (904) 297-7500 321 Walnut Street www.greencovesprings.com
Fax: (904) 284-4849 Green Cove Springs, FL 32043 Florida Relay - Dial 7-1-1

October 4, 2021

John Sanders, The Vineyard
PO Box 523, Green Cove Springs, FL 32043
(904) 305-4641 | Johnsanders5728@yahoo.com

RE: Application #s SPL-21-003 – Pre-SDRT Comments
Site Development Plan for 518 N Pine Ave

Dear Mr. Sanders,

The City of Green Cove Springs Site Development Review Team (SDRT) reviewed the subject application today in advance of the scheduled October 5, 2021 SDRT meeting. Please review the comments below in preparation for the meeting.

1. Pursuant to the approved Special Exception: Please provide date of the approval of the Special Exception by the Planning and Zoning Commission (9/28/2021) and the following conditions on the front page of the site plan:
 - a) Approval of the Special Exception is limited to the applicant / owner: John Sanders/The Vineyard. Any transfer of ownership will require a new Special Exception application.
 - b) The maximum number of transitional housing units shall be limited to 8 units.
 - c) All outdoor activities shall be limited to no later than 8:00 pm.
 - d) Approval of the Special Exception is contingent upon the approval of the Future Land Use and Zoning Amendments by City Council.
2. On the plan, provide the parking requirements per Sec 117-796:
 - (1) A minimum of 300 square feet of private indoor living space shall be provided for each occupant of a structure.
 - (2) Minimum parking requirements shall be as follows:
 - a. One parking space for each three beds; and
 - b. One parking space for each employee.
3. Provide the duties of the responsible party specified in Sec. 117-796 (b)(3) on the site plan.
4. Show all lighting for the property. Parking lot illumination shall comply with 113-160(d).
5. The design and construction of the proposed stormwater management system shall be certified as meeting the requirements of this subpart by a professional engineer registered in the state.
 - a. Staff requests the that a pond be added to the rear of the property to prevent runoff from encroaching on the property to the east.
6. Provide perimeter landscape calculation requirements per section 113-244(b)(1) in addition to interior landscape requirements. Natural buffers to the east and a portion of the north can be substituted for new plantings.
7. Replace live oaks in southern landscape islands with ornamental trees so as not to conflict with overhead lines.
8. Move live oak along Pine Avenue back a minimum of 20 so as not to conflict with power lines.
9. Show trees to be saved – Will palm tree along Pine Avenue be saved?
10. Provide sidewalk from handicapped space to residential units.

Members of Florida League of Cities



City of Green Cove Springs Florida

Phone: (904) 297-7500 321 Walnut Street www.greencovesprings.com
Fax: (904) 284-4849 Green Cove Springs, FL 32043 Florida Relay - Dial 7-1-1

11. Existing septic tanks must be abandoned per Health Department standards prior to issuance of a Certificate of Occupancy.
12. Please provide an Electric Service Load Form and, if available, electric drawings for the property to allow staff to complete the Verification Work Order submitted as part of the request for temporary power.

The current site development plan can be reviewed by the Planning & Zoning Board who may issue a conditional recommendation for approval based on satisfaction of staff comments.

Please submit revised site development plans by close of business October 21, 2021, in order for the site plan to stay on track for the November 2, 2021, City Council meeting. This allows for staff review of the resubmission and preparation of the agenda item. If revisions are not submitted in a timely manner, the final approval of the site development plan may be pushed to December or January, based on the submittal date.

Payment of the advertising fees (\$233.10) for the future land use and rezoning is still required and must be completed in order to receive approvals on any projects related to this property.

Please contact me directly at mdaniels@greencovesprings.com if you have any questions.

Sincerely,

Michael Daniels, AICP
Planning and Zoning Director
City of Green Cove Springs

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